



## TOWN OF HAMILTON Conservation Commission

Town Offices at Patton Homestead  
650 Asbury Street, Hamilton, MA 01982  
P. O. Box 429  
(978) 656-5247 <https://www.hamiltonma.gov>

### Public Meeting Notice Hamilton Conservation Commission Remote Meeting (ZOOM log-in access below)

#### ZOOM Meeting Link:

<https://us02web.zoom.us/j/81485918603?pwd=AsMU5WgalJPzrwqknEWgWhFZtNriO1.1>

Meeting ID: 814 8591 8603

Passcode: 165062

One tap mobile:

+13052241968,,81485918603#,,,,\*165062# US

+13092053325,,81485918603#,,,,\*165062# US

#### MEETING AGENDA

*Wednesday, April 9<sup>th</sup>, 2025 – 7:00 PM*

#### CALL TO ORDER

The Interim Chair convenes the meeting pending the establishment of a quorum. The following items shall be addressed in order, subject to the discretion of the Chair and the Members

#### PUBLIC MEETINGS AND HEARINGS

*Continued Notice of Intent:* MassDEP #172- 0655, 470 Essex Street, Hamilton, MA.

**Applicant:** Roger Leblanc

**Representative:** Joel Favazza, Seaside Legal Solutions, P.C.

**Project:** Proposed construction of a single-family home and associated amenities, including a driveway and a septic system within the 100-foot buffer zone.

*Continued Notice of Intent:* MassDEP #172- 0657, 540 Highland Street, Hamilton, MA.

**Applicant:** Thomas Valton of Massachusetts Department of Conservation and Recreation

**Property owner:** Priscilla Geigis of Massachusetts Department of Conservation and Recreation

**Representative:** Jessica Marino of AECOM.

**Project:** Proposed resurfacing of Bradley Palmer State Park Road and the repair of a culvert within the roadway. The proposed project is located between the Topsfield Town Line and Highland Street, at 540 Highland Street, Hamilton, MA, (Map 12, Parcel 20-1). Most of the proposed work is located within the Bordering Vegetated Wetland, Bordering Land Subject to Flooding, and the 200-foot Riverfront Area.



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*Amended Order of Conditions: MassDEP #172- 0625, Bridge Street & Miles River Road, Hamilton, MA.*

**Applicant:** Timothy Olsen

**Representative:** Matthew Perry, The Engineering Corp

**Project:** Minor changes to the layout and location of the drainage system and to detail proposed pavement maintenance activities. Most of the proposed work is located within the 100-foot Buffer Zone, and the 200-foot Riverfront Area.

*Request for Determination of Applicability: Hamilton Wenham Rod and Gun Club, 500 Chebecco Road, Hamilton, MA.*

**Applicant:** Patrick Cullen

**Property Owner:** Town of Hamilton

**Representative:** Paul Moginot II of MLM Landscape

**Project:** Proposed ground maintenance, invasive plant removal, tree removal and similar activities. Most of the proposed work is located within the 100-foot Buffer Zone, Bordering Vegetated Wetland, and the 200-foot Riverfront Area.

**PUBLIC COMMENT** (3 minutes on topics not already on the agenda)

### MINUTES FOR REVIEW

3/12/25

### ENFORCEMENT ORDERS/VIOLATIONS

1. 185 Bridge Street (58-9-53) – issued March 14, 2023, reissued May 23, 2024

### NEW/ OTHER BUSINESS

### CONSERVATION OFFICE

Next Meeting is scheduled for April 23<sup>rd</sup>, 2025.

### ADJOURNMENT



Massachusetts Department of Environmental Protection

## **eDEP Transaction Copy**

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Here is the file you requested for your records.

To retain a copy of this file you must save and/or print.

Username: **SEASIDELEGAL**

Transaction ID: **1858919**

Document: **WPA Form 3 - NOI**

Size of File: **273.40K**

Status of Transaction: **In Process**

Date and Time Created: **2/5/2025:1:39:25 PM**

**Note:** This file only includes forms that were part of your transaction as of the date and time indicated above. If you need a more current copy of your transaction, return to eDEP and select to "Download a Copy" from the Current Submittals page.



**Massachusetts Department of Environmental Protection**

Bureau of Resource Protection - Wetlands

**WPA Form 3 - Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
MassDEP File #:  
eDEP Transaction #:1858919  
City/Town:HAMILTON

**A.General Information**

**1. Project Location:**

a. Street Address	470 ESSEX STREET	c. Zip Code	01982
b. City/Town	HAMILTON	e. Longitude	70.82510W
d. Latitude	42.61485N	g.Parcel/Lot #	70
f. Map/Plat #	59		

**2. Applicant:**

☒ Individual ☐ Organization

a. First Name	ROGER	b.Last Name	LEBLANC
c. Organization			
d. Mailing Address	C/O SEASIDE LEGAL SOLUTIONS, P.C., PO BOX 1172		
e. City/Town	GLOUCESTER	f. State	MA
g. Zip Code	01931		
h. Phone Number	978-627-4500	i. Fax	
j. Email			

**3.Property Owner:**

☐ more than one owner

a. First Name	ROGER	b. Last Name	LEBLANC
c. Organization			
d. Mailing Address	C/O SEASIDE LEGAL SOLUTIONS, P.C., PO BOX 1172		
e. City/Town	GLOUCESTER	f.State	MA
g. Zip Code	01931		
h. Phone Number	978-627-4500	i. Fax	
j.Email			

**4.Representative:**

a. First Name	JOEL	b. Last Name	FAVAZZA
c. Organization	SEASIDE LEGAL SOLUTIONS, P.C.		
d. Mailing Address	PO BOX 1172		
e. City/Town	GLOUCESTER	f. State	MA
g. Zip Code	01931		
h.Phone Number	978-627-4500	i.Fax	
j.Email	contact@seasidelegal.com		

**5.Total WPA Fee Paid (Automatically inserted from NOI Wetland Fee Transmittal Form):**

a.Total Fee Paid	110.00	b.State Fee Paid	42.50	c.City/Town Fee Paid	67.50
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**6.General Project Description:**

CONSTRUCTION OF SINGLE-FAMILY HOME AND ASSOCIATED AMENITIES, INCLUDING DRIVEWAY AND SEPTIC SYSTEM

**7a.Project Type:**

- |   |  |
|---|--|
| 1. <input checked="" type="checkbox"/> Single Family Home     | 2. <input type="checkbox"/> Residential Subdivision                  |
| 3. <input type="checkbox"/> Limited Project Driveway Crossing | 4. <input type="checkbox"/> Commercial/Industrial                    |
| 5. <input type="checkbox"/> Dock/Pier                         | 6. <input type="checkbox"/> Utilities                                |
| 7. <input type="checkbox"/> Coastal Engineering Structure     | 8. <input type="checkbox"/> Agriculture (eg., cranberries, forestry) |
| 9. <input type="checkbox"/> Transportation                    | 10. <input type="checkbox"/> Other                                   |

**7b.Is any portion of the proposed activity eligible to be treated as a limited project subject to 310 CMR 10.24 (coastal) or 310**





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CMR 10.53 (inland)?

1. ☐ Yes ☒ No

If yes, describe which limited project applies to this project:

2. Limited Project

8. Property recorded at the Registry of Deeds for:

**a. County:**

SOUTHERN ESSEX

**b. Certificate:**

**c. Book:**

33356

**d. Page:**

613

**B. Buffer Zone & Resource Area Impacts (temporary & permanent)**

1. Buffer Zone & Resource Area Impacts (temporary & permanent):

☒ This is a Buffer Zone only project - Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.

2. Inland Resource Areas: (See 310 CMR 10.54 - 10.58, if not applicable, go to Section B.3. Coastal Resource Areas)

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
---------------	-----------------------------	-------------------------------

a. ☐ Bank

1. linear feet

2. linear feet

b. ☐ Bordering Vegetated Wetland

1. square feet

2. square feet

c. ☐ Land under Waterbodies and Waterways

1. Square feet

2. square feet

3. cubic yards dredged

d. ☐ Bordering Land Subject to Flooding

1. square feet

2. square feet

3. cubic feet of flood storage lost

4. cubic feet replaced

e. ☐ Isolated Land Subject to Flooding

1. square feet

2. cubic feet of flood storage lost

3. cubic feet replaced

f. ☐ Riverfront Area

1. Name of Waterway (if any)

2. Width of Riverfront Area (check one)

☐ 25 ft. - Designated Densely Developed Areas only

☐ 100 ft. - New agricultural projects only

☐ 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project

square feet

4. Proposed Alteration of the Riverfront Area:

a. total square feet

b. square feet within 100 ft.

c. square feet between 100 ft.  
and 200 ft.



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5. Has an alternatives analysis been done and is it attached to this NOI?

☐ Yes ☐ No

6. Was the lot where the activity is proposed created prior to August 1, 1996?

☐ Yes ☐ No

**3.Coastal Resource Areas: (See 310 CMR 10.25 - 10.35)**

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
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a. <input type="checkbox"/> Designated Port Areas	Indicate size under	Land under the ocean below,
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b. ☐ Land Under the Ocean

1. square feet

2. cubic yards dredged

c. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes, below	
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d. ☐ Coastal Beaches

1. square feet

2. cubic yards beach nourishment

e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment
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f. ☐ Coastal Banks

1. linear feet

g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
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h. ☐ Salt Marshes

1. square feet

2. sq ft restoration, rehab, crea.

i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet	
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1. square feet

2. cubic yards dredged

j. ☐ Land Containing Shellfish

1. square feet

k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
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Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above

1. cubic yards dredged

l. ☐ Land Subject to Coastal Storm Flowage

1. square feet

**4.Restoration/Enhancement**

☐ Restoration/Replacement

If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please entered the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

**5.Projects Involves Stream Crossings**

☐ Project Involves Streams Crossings



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If the project involves Stream Crossings, please enter the number of new stream crossings/number of replacement stream crossings.

a. number of new stream crossings

b. number of replacement stream crossings

**C. Other Applicable Standards and Requirements**

**Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review**

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage of Endangered Species program (NHESP)?

a. ☐ Yes ☒ No

If yes, include proof of mailing or hand delivery of NOI to:

Natural Heritage and Endangered Species

Program

Division of Fisheries and Wildlife

1 Rabbit Hill Road

Westborough, MA 01581

b. Date of map:FROM MAP VIEWER

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18)....

c. Submit Supplemental Information for Endangered Species Review \* (Check boxes as they apply)

1. ☐ Percentage/acreage of property to be altered:

(a) within Wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. ☐ Assessor's Map or right-of-way plan of site

3. ☐ Project plans for entire project site, including wetland resource areas and areas outside of wetland jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*

a. ☐ Project description (including description of impacts outside of wetland resource area & buffer zone)

b. ☐ Photographs representative of the site

c. ☐ MESA filing fee (fee information available at: <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/mass-endangered-species-act-mesa/mesa-fee-schedule.html> )

Make check payable to "Natural Heritage & Endangered Species Fund" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

d. ☐ Vegetation cover type map of site

e. ☐ Project plans showing Priority & Estimated Habitat boundaries

d. OR Check One of the following

1. ☐ Project is exempt from MESA review. Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <http://www.mass.gov/eea/agencies/dfg/dfw/laws-regulations/cmr/321-cmr-1000-massachusetts-endangered-species-act.html#10.14>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. ☐ Separate MESA review ongoing.

a. NHESP Tracking Number

b. Date submitted to NHESP



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Provided by MassDEP:  
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3. ☐ Separate MESA review completed.

Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review...

2. For coastal projects only, is any portion of the proposed project located below the mean high waterline or in a fish run?

a. ☒ Not applicable - project is in inland resource area only

b. ☐ Yes ☐ No

If yes, include proof of mailing or hand delivery of NOI to either:

South Shore - Cohasset to Rhode Island, and the Cape & Islands:

North Shore - Hull to New Hampshire:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 S. Rodney French Blvd  
New Bedford, MA 02744

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930

If yes, it may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office.

For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional office.

3. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?

a. ☐ Yes ☒ No

If yes, provide name of ACEC (see instructions to WPA Form 3 or DEP Website for ACEC locations). **Note:** electronic filers click on Website.

b. ACEC Name

4. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?

a. ☐ Yes ☒ No

5. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L.c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L.c. 130, § 105)?

a. ☐ Yes ☒ No

6. Is this project subject to provisions of the MassDEP Stormwater Management Standards?

a. ☐ Yes, Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:

1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol.2, Chapter 3)

2. A portion of the site constitutes redevelopment

3. Proprietary BMPs are included in the Stormwater Management System

b. ☒ No, Explain why the project is exempt:

1. ☒ Single Family Home

2. ☐ Emergency Road Repair



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3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department by regular mail delivery.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.
3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s). Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
4. List the titles and dates for all plans and other materials submitted with this NOI.

**a. Plan Title:                      b. Plan Prepared By:      c. Plan Signed/Stamped By:      c. Revised Final Date:      e. Scale:**

PROJECT NARRATIVE	SEASIDE LEGAL SOLUTIONS, P.C.		January 28, 2025	
SITE DEVELOPMENT PERMIT PLAN	EASTERN LAND SURVEY ASSOCIATES, INC.	CHRISTOPHER R. MELLO	September 19, 2024	
ABUTTERS LIST	TOWN OF HAMILTON		January 30, 2025	
AERIAL MAP	CAI AXIS		January, 2025	
AFFIDAVIT OF SERVICE	JOEL FAVAZZA		February 5, 2025	

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. Attach NOI Wetland Fee Transmittal Form.
9. Attach Stormwater Report, if needed.



**Massachusetts Department of Environmental Protection**

Bureau of Resource Protection - Wetlands

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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
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eDEP Transaction #:1858919  
City/Town:HAMILTON

**E. Fees**

1.

Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

11054, 11053	02/05/2025
2. Municipal Check Number	3. Check date
4. State Check Number	5. Check date
Seaside Legal Solutions, P.C.	
6. Payer name on check: First Name	7. Payer name on check: Last Name

**F. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

Roger Leblanc	2/5/2025
1. Signature of Applicant	2. Date
Roger Leblanc	2/5/2025
3. Signature of Property Owner(if different)	4. Date
Joel Favazza o/b/o SLS	2/5/2025
5. Signature of Representative (if any)	6. Date

**For Conservation Commission:**

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

**For MassDEP:**

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

**Other:**

If the applicant has checked the "yes" box in Section C, Items 1-3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands  
**WPA Form 3 - Notice of Wetland Fee Transmittal Form**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
MassDEP File #:  
eDEP Transaction #:1858919  
City/Town:HAMILTON

**A. Applicant Information**

**1. Applicant:**

a. First Name	ROGER	b. Last Name	LEBLANC
c. Organization			
d. Mailing Address	C/O SEASIDE LEGAL SOLUTIONS, P.C., PO BOX 1172		
e. City/Town	GLOUCESTER	f. State	MA
g. Zip Code	01931		
h. Phone Number	9786274500	i. Fax	j. Email

**2. Property Owner:(if different)**

a. First Name	ROGER	b. Last Name	LEBLANC
c. Organization			
d. Mailing Address	C/O SEASIDE LEGAL SOLUTIONS, P.C., PO BOX 1172		
e. City/Town	GLOUCESTER	f. State	MA
g. Zip Code	01931		
h. Phone Number	9786274500	i. Fax	j. Email

**3. Project Location:**

a. Street Address	470 ESSEX STREET	b. City/Town	HAMILTON
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Are you exempted from Fee? ☐ (YOU HAVE SELECTED 'NO')

**Note:** Fee will be exempted if you are one of the following:

- City/Town/County/District
- Municipal Housing Authority
- Indian Tribe Housing Authority
- MBTA

State agencies are only exempt if the fee is less than \$100

**B. Fees**

Activity Type	Activity Number	Activity Fee	RF Multiplier	Sub Total
A.) WORK ON SINGLE FAMILY LOT; ADDITION, POOL, ETC.;	1	110.00		110.00
		City/Town share of filing fee	State share of filing fee	Total Project Fee
		\$67.50	\$42.50	\$110.00

## PROJECT NARRATIVE

Seaside Legal Solutions, P.C., represents Roger LeBlanc (the “Applicant”), in connection with a Notice of Intent (the “NOI”) filed on his behalf for the construction of a single-family home, driveway, and septic system (the “Project”) at 470 Essex Street, Hamilton (the “Locus”). The Locus consists of approximate 40,012 sf of area; about half of the lot is comprised of inland wetlands resource area, the boundaries of which were flagged and delineated by William Manuell, of Wetlands and Land Management in September of 2024. Portions of the Project are located within the 100’ Buffer Zone to the wetlands resource area, as well as within the Associated Upland Resource Area, thereby requiring an Order of Conditions from the Town of Hamilton Conservation Commission under the Commonwealth’s Wetlands Protection Act (the “WPA”) and the Town’s General Wetlands Protection/Conservation Bylaw (Chapter XVII, the “Bylaw”).

All of the above-described activities and their proximity to the resource area(s) are shown on the “Site Development Permit Plan” prepared by Eastern Land Survey Association, Inc., for Roger LeBlanc, dated September 19, 2024. The following regulatory citations and commentary address jurisdictional thresholds and performance standards.<sup>1</sup>

### 310 CMR 10.53(1) Buffer Zone Work

Under the WPA, all of the proposed work is located in the 100’ Buffer Zone; no work will directly impact or alter any Resource Area(s). The entirety of the proposed dwelling and almost the entirety of the septic system is located within the Buffer Zone. Most of the driveway is outside of the Buffer Zone, with only a portion of the proposed walkway located within it.

310 CMR 10.53(1) outlines the general requirements for work in a Buffer Zone. It provides that the Commission shall impose conditions to protect the interests identified by M.G.L. c. 131 § 40 for the adjacent Resource Areas. The Commission “may require erosion and sedimentation controls during construction, a clear limit of work, and the preservation of natural vegetation adjacent to the Resource Area and/or other measures commensurate with the scope and location of the work within the Buffer Zone to protect the interests of M.G.L. c. 131, § 40.”

The plans submitted herewith outline significant proposed erosion control measures during construction, including erosion control barriers (silt socks, silt fences, straw bales, temporary construction entrance / washout space) around the work area, upland of the resource area itself. The limit of work is clearly defined, and will include post-construction “no

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<sup>1</sup> 310 CMR 10.51 through 10.60 pertain to inland wetlands. Bylaw Chapter XVII pertains to wetlands protection and conservation.



cut” marker posts to meet Bylaw requirements. These posts will serve an alternate purpose in permanently delineating any future scope of work.

310 CMR 10.53(1) also provides that this Commission may impose conditions that “include limitations on the scope and location of work in the Buffer Zone as necessary to avoid alteration of Resource Areas.” As stated above, the layout of the Locus was intentionally designed to locate the proposed work as far from the resource area as practical within the confines of the property itself, while still abiding by other controls such as zoning and Title V. In sum, the Project meets the WPA requirements for Buffer Zone work.

### Bylaw Requirements

Section 2(2) of the Bylaw defines the Associated Upland Resource Area (“AURA”) as land extending 100’ horizontally outward from the boundary of a freshwater wetland. The AURA is considered a resource area under the Bylaw. *Id.* The burden of proof is on the applicant to prove that work proposed within the AURA will not have an unacceptable significant and/or cumulative effect upon the wetland values protected by the Bylaw. *Id.* at Section 2(3).

In furtherance of the above requirement related to unacceptable significant and/or cumulative effects, the Bylaw outlines certain standards which a particular project must meet:

Under Bylaw Section 7(B), projects are required to minimize alteration to resource area, where feasible, and to provide full mitigation where alteration is unavoidable and has been minimized. Bylaw Section 7(C) authorizes the Commission to establish safeguards for the AURA. These are effectuated in Section 7(D), which creates a 50’ no disturbance zone and a 75’ no build zone, measured from the edge of the resource area.

Importantly, Section 7(C) provides that the AURA may be disturbed notwithstanding the above requirements where the Applicant proves that the work will not harm the values protected under the Bylaw. Additionally Section 7(G) allows the Commission to waive certain performance standards upon a finding that no reasonable conditions or alternatives would allow a project in compliance with the regulations; that avoidance, mitigation, and minimization have been employed to the maximum extent feasible; and that a waiver is necessary to accommodate an overriding public interest or to avoid a decision that so restricts the use of the property as to constitute an unconstitutional taking without compensation.

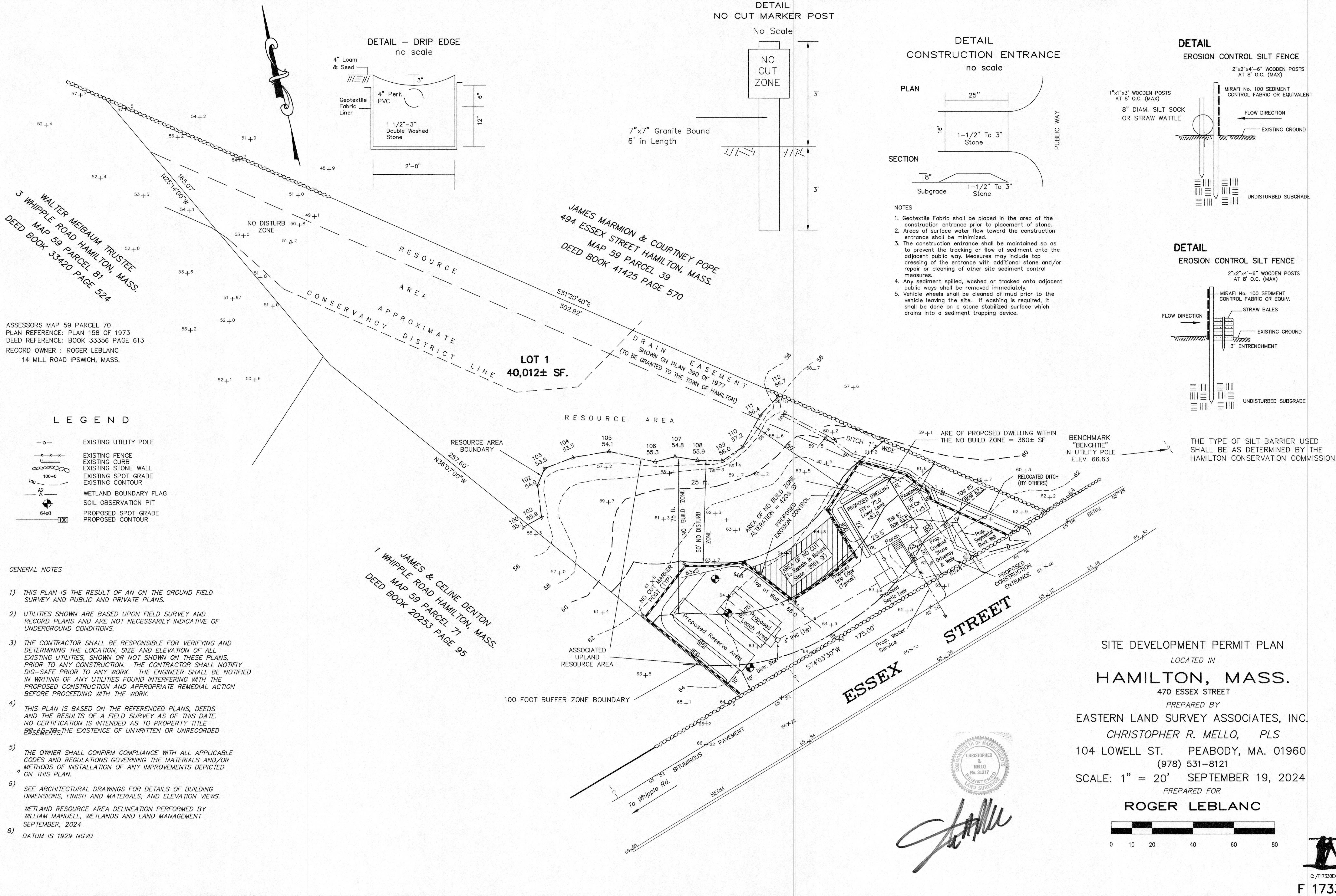
Here, the Project will not have an unacceptable significant and/or cumulative effect upon the wetlands values protected by the Bylaw. First, the Project is located as far away from the delineated wetlands boundaries as possible while complying with setback requirements under the zoning bylaw and/or Title V. Locating the Project outside of the AURA is not feasible, as only a small sliver of the front of the lot is outside of the AURA. That said, during construction, the Applicant will surround the work area with erosion control to mitigate any adverse impacts to the surrounding wetland resource area itself. While 360 sf of the proposed dwelling and 420 sf of the proposed septic system will be located within the required no build

area, again, the Applicant will effectively mitigate these impacts by (i) installing the aforementioned erosion control during construction; (ii) respecting the 50' no disturb zone in perpetuity; and (iii) dedicating an additional 850 sf within the no build zone as area of no cut, which will be adequately marked by posts to inform present and future owners of the Locus (see Site Plan for additional detail). As such, while the Project cannot meet the strict requirements of the Bylaw, the Applicant proposes to minimize and avoid AURA alteration to the extent feasible, and mitigate alteration where not feasible. There are no reasonable alternatives to develop the Locus for residential use, and strict enforcement of the Bylaw as relates to the AURA requirements would so restrict the use of the Locus as to constitute a taking.

### Conclusion

The proposed construction of a single-family home, a septic system, and a driveway and walkway located within the Buffer Zone can be sufficiently conditioned to protect the interests of the WPA. The Applicant proposes significant erosion control and the site plan shows a clear delineation of work. The Project may also be approved under the Bylaw, despite proposing alteration to the AURA and within the no build zone because there is no reasonable alternative to develop the Locus for residential use, and the Applicant has proposed sufficient mitigation to meet the Bylaw requirements.



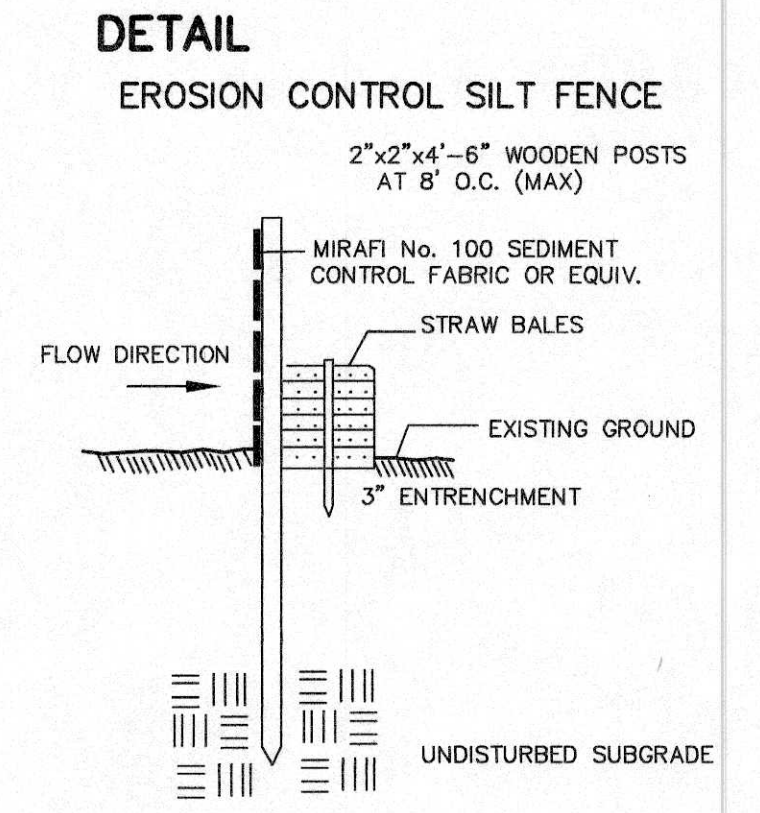
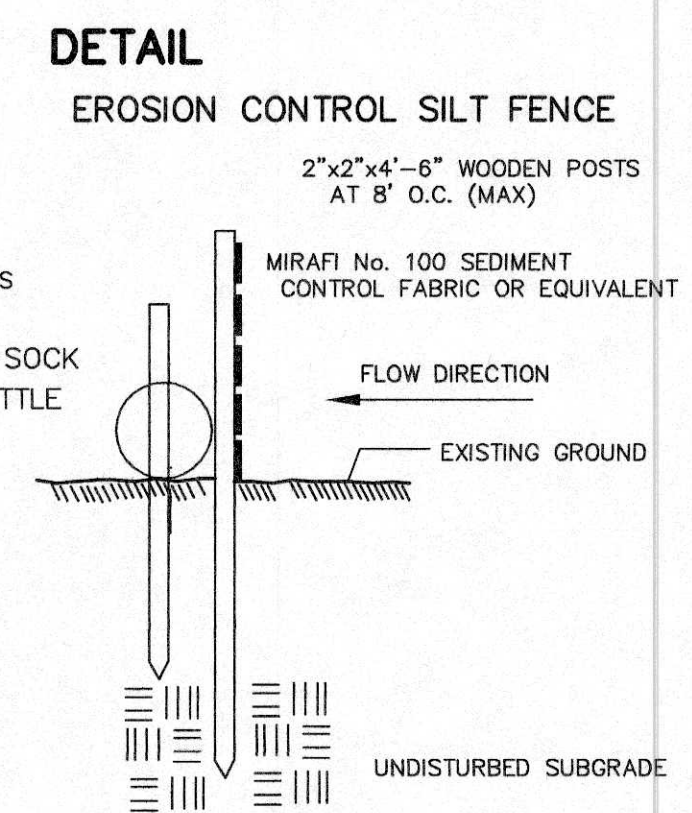
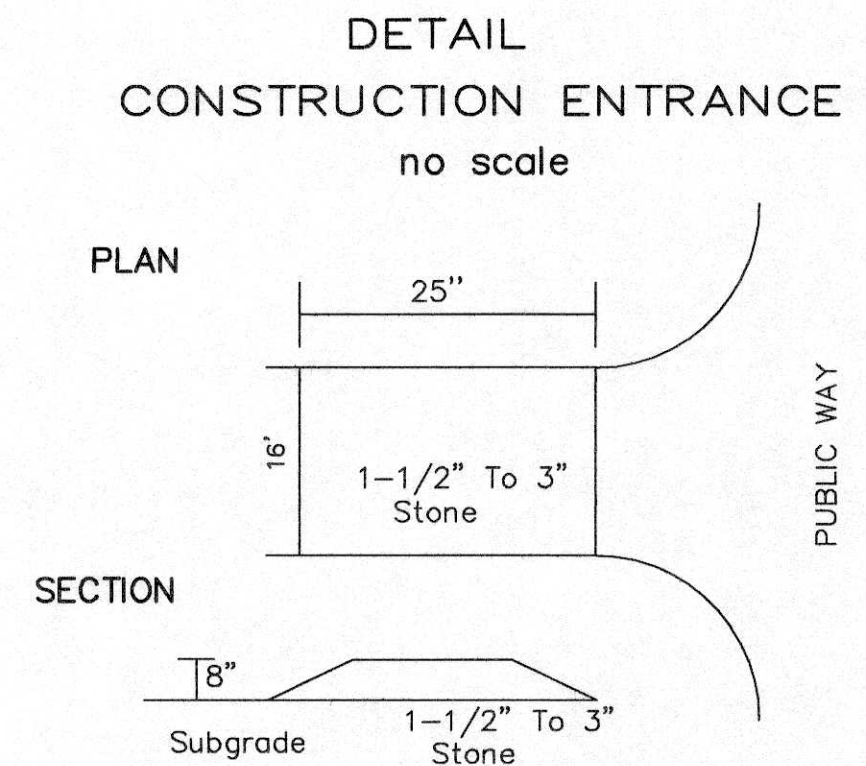
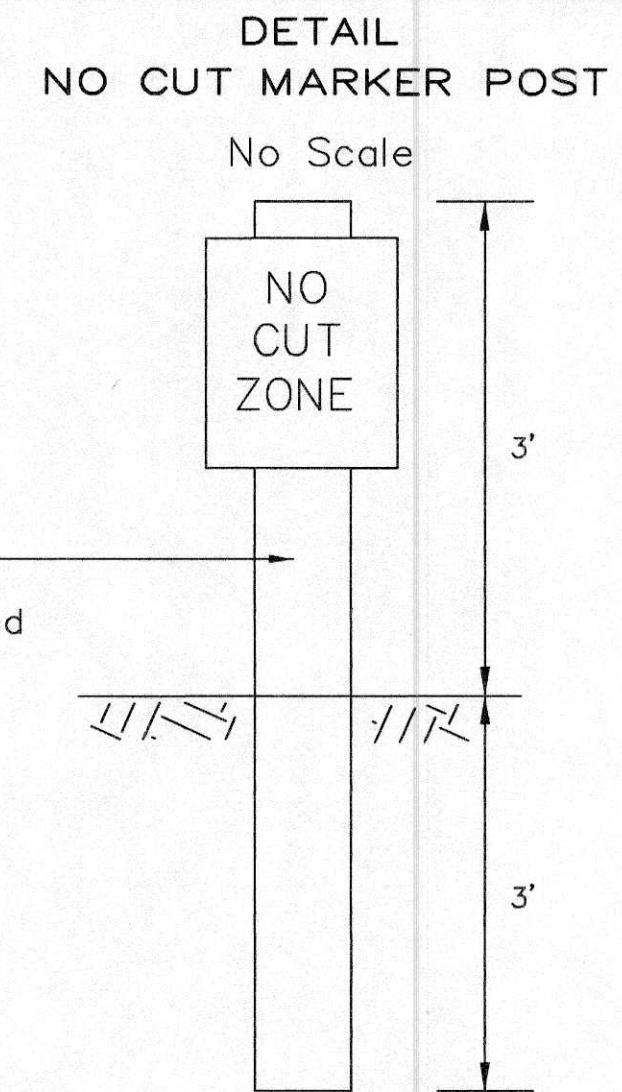
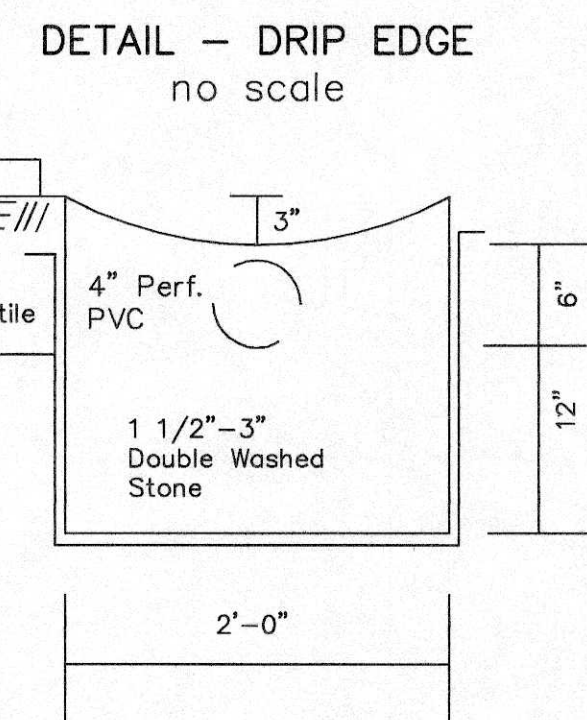


WALTER MEBAUM TRUSTEE  
3 WHIPPLE ROAD HAMILTON, MASS.  
MAP 59 PARCEL 81  
DEED BOOK 33420 PAGE 524

ASSESSORS MAP 59 PARCEL 70  
PLAN REFERENCE: PLAN 158 OF 1973  
DEED REFERENCE: BOOK 33356 PAGE 613  
RECORD OWNER: ROGER LEBLANC  
14 MILL ROAD IPSWICH, MASS.

- LEGEND**
- o — EXISTING UTILITY POLE
  - x — x — EXISTING FENCE
  - — — EXISTING CURB
  - — — EXISTING STONE WALL
  - — — EXISTING SPOT GRADE
  - — — EXISTING CONTOUR
  - — — WETLAND BOUNDARY FLAG
  - — — SOIL OBSERVATION PIT
  - — — PROPOSED SPOT GRADE
  - — — PROPOSED CONTOUR

- GENERAL NOTES**
- 1) THIS PLAN IS THE RESULT OF AN ON THE GROUND FIELD SURVEY AND PUBLIC AND PRIVATE PLANS.
  - 2) UTILITIES SHOWN ARE BASED UPON FIELD SURVEY AND RECORD PLANS AND ARE NOT NECESSARILY INDICATIVE OF UNDERGROUND CONDITIONS.
  - 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BEFORE PROCEEDING WITH THE WORK.
  - 4) THIS PLAN IS BASED ON THE REFERENCED PLANS, DEEDS AND THE RESULTS OF A FIELD SURVEY AS OF THIS DATE. NO CERTIFICATION IS INTENDED AS TO PROPERTY TITLE OR AS TO THE EXISTENCE OF UNWRITTEN OR UNRECORDED AGREEMENTS.
  - 5) THE OWNER SHALL CONFIRM COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE MATERIALS AND/OR METHODS OF INSTALLATION OF ANY IMPROVEMENTS DEPICTED ON THIS PLAN.
  - 6) SEE ARCHITECTURAL DRAWINGS FOR DETAILS OF BUILDING DIMENSIONS, FINISH AND MATERIALS, AND ELEVATION VIEWS.
- WETLAND RESOURCE AREA DELINEATION PERFORMED BY WILLIAM MANUELL, WETLANDS AND LAND MANAGEMENT SEPTEMBER, 2024
- DATUM IS 1929 NGVD



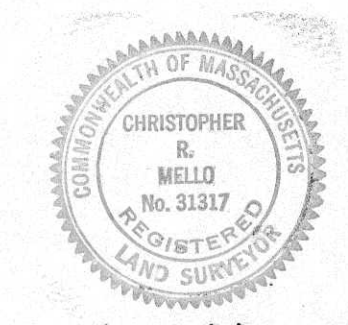
- NOTES**
1. Geotextile Fabric shall be placed in the area of the construction entrance prior to placement of stone.
  2. Areas of surface water flow toward the construction entrance shall be minimized.
  3. The construction entrance shall be maintained so as to prevent the tracking or flow of sediment onto the adjacent public way. Measures may include top dressing of the entrance with additional stone and/or repair or cleaning of other site sediment control measures.
  4. Any sediment spilled, washed or tracked onto adjacent public ways shall be removed immediately.
  5. Vehicle wheels shall be cleaned of mud prior to the vehicle leaving the site. If washing is required, it shall be done on a stone stabilized surface which drains into a sediment trapping device.

THE TYPE OF SILT BARRIER USED SHALL BE AS DETERMINED BY THE HAMILTON CONSERVATION COMMISSION.

**SITE DEVELOPMENT PERMIT PLAN**  
LOCATED IN  
**HAMILTON, MASS.**  
470 ESSEX STREET

PREPARED BY  
EASTERN LAND SURVEY ASSOCIATES, INC.  
CHRISTOPHER R. MELLO, PLS  
104 LOWELL ST. PEABODY, MA. 01960  
(978) 531-8121  
SCALE: 1" = 20' SEPTEMBER 19, 2024

PREPARED FOR  
**ROGER LEBLANC**



C:\F17330\EXB.DWG  
**F 17330**





# Town of Hamilton, MA

470 ESSEX ST



Layers

79

0004 SF

80

40000 SF

81

40007 SF

70

40012 SF

74

40006 SF

73

40019 SF

71

40003 SF

72



22

x:-70.827770, y:42.615696





### AFFIDAVIT OF SERVICE

Under the Massachusetts Wetlands Protection Act and the City of Gloucester Wetlands Ordinance

I, Joel Favazza, hereby certify under the pains and penalties of perjury that on February 5, 2025, I gave notification to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, and the Town of Hamilton Wetlands Bylaw, in connection with the following matter:

A Notice of Intent filed under the Massachusetts Wetlands Protection Act by Roger LeBlanc, with the Hamilton Conservation Commission on February 5, 2025, for property located at 470 Essex Street, Hamilton, MA 01982.

The form of the notification and list of abutters to whom it was given and their addresses are attached to this Affidavit of Service.

/s/ Joel Favazza  
Signature & Title

February 5, 2025  
Date

## Notification to Abutters

By Hand Delivery, Certified Mail (return receipt requested), or Certificates of Mailing

*This is a notification required by law. You are receiving this notification because you have been identified as the owner of land abutting another parcel of land for which certain activities are proposed. Those activities require a permit under the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40).*

In accordance with the second paragraph of the Massachusetts Wetlands Protection Act, and 310 CMR 10.05(4)(a) of the Wetlands Regulations, you are hereby notified that:

- A. A Notice of Intent was filed with the Hamilton Conservation Commission on February 5, 2025, seeking permission to remove, fill, dredge, or alter an area subject to protection under M.G.L. c. 131 §40. The following is a description of the proposed activity/activities:
  - Construction of a single-family home and associated amenities, including driveway and septic system.
- B. The name of the applicant is: Roger LeBlanc
- C. The address of the land where the activity is proposed is: 470 Essex Street, Hamilton, Massachusetts, 01982.
- D. Copies of the Notice of Intent may be examined or obtained at the office of the Hamilton Conservation Commission, located at 650 Asbury Street, Hamilton, MA 01982. The regular business hours of the Commission are Monday to Thursday from 8:30 am to 12:30 pm, and the Commission may be reached at 978-626-5251.
- E. Copies of the Notice of Intent may be obtained from the applicant or their representative by calling Seaside Legal Solutions, P.C. at 978-627-4500. An administrative fee may be applied for providing copies of the Notice of Intent and plans.
- F. Information regarding the date, time, and location of the public hearing regarding the Notice of Intent may be obtained from the Hamilton Conservation Commission. Notice of the public hearing will be published at least five business days in advance, in the Salem News.

Notification provided pursuant to the above requirement does not automatically confer standing to the recipient to request Departmental Action for the underlying matter. See 310 CMR 10.05(7)(a)4.



# 300 feet Abutters List Report

Hamilton, MA  
January 30, 2025

## Subject Property:

Parcel Number: 59-0070  
CAMA Number: 59-000-0070  
Property Address: 470 ESSEX ST

Mailing Address: LEBLANC ROGER  
14 MILL RD  
IPSWICH, MA 01938

---

## Abutters:

Parcel Number: 59-0039  
CAMA Number: 59-000-0039  
Property Address: 494 ESSEX ST

Mailing Address: MARMION JAMES POPE COURTNEY  
494 ESSEX ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 59-0040  
CAMA Number: 59-000-0040  
Property Address: 453 ESSEX ST

Mailing Address: JOHNSON PAUL B PATRICIA A  
453 ESSEX ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 59-0071  
CAMA Number: 59-000-0071  
Property Address: 1 WHIPPLE RD

Mailing Address: DENTON JAMES W JR CELINE  
1 WHIPPLE RD  
SOUTH HAMILTON, MA 01982

Parcel Number: 59-0072  
CAMA Number: 59-000-0072  
Property Address: 2 WHIPPLE RD

Mailing Address: LAFOUNTAIN PHILIP N JENNIFER L  
2 WHIPPLE RD  
SOUTH HAMILTON, MA 01982

Parcel Number: 59-0073  
CAMA Number: 59-000-0073  
Property Address: 4 WHIPPLE RD

Mailing Address: ERIC R EATON LIVING TRUST BRITT  
M.C. EATON LIVING TRUST  
4 WHIPPLE RD  
SOUTH HAMILTON, MA 01982

Parcel Number: 59-0080  
CAMA Number: 59-000-0080  
Property Address: 5 WHIPPLE RD

Mailing Address: GRIMSHAW ANTHONY GRACE M  
BELFIORE  
5 WHIPPLE RD  
SOUTH HAMILTON, MA 01982

Parcel Number: 59-0081  
CAMA Number: 59-000-0081  
Property Address: 3 WHIPPLE RD

Mailing Address: MEIBAUM WALTER C III REVOC TRU  
MEIBAUM WALTER C III TRUSTEE  
3 WHIPPLE RD  
S HAMILTON, MA 01982

Parcel Number: 59-0098  
CAMA Number: 59-000-0098  
Property Address: 3 SPINGLER DR

Mailing Address: CULLEN ERIN  
2 SPINGLER DRIVE  
SOUTH HAMILTON, MA 01982

Parcel Number: 60-0103  
CAMA Number: 60-000-0103  
Property Address: 1 APPALOOSA LN

Mailing Address: CROWLEY ADAM C ERIN M  
1 APPALOOSA LN  
SOUTH HAMILTON, MA 01982



www.cai-tech.com

1/30/2025

Data shown on this report is for informational purposes only. The Town of Hamilton and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report. The Town of Hamilton makes no warranties with regard to the report's accuracy or completeness and assumes no liability associated with use of the data.

Page 1 of 1







AECOM  
250 Apollo Drive  
Chelmsford, MA 01824

978.905.2100 tel  
978.905.2101 fax

February 28, 2025

Hamilton Conservation Commission  
Town Offices at Patton Homestead  
650 Asbury Street  
P.O. Box 429  
Hamilton, MA 01936

**Subject: Notice of Intent  
Roadway Resurfacing at Bradley Palmer State Park  
Massachusetts Department of Conservation & Recreation**

Dear Commission Members,

On behalf of the Massachusetts Department of Conservation & Recreation (Applicant), AECOM respectfully submits this Notice of Intent (NOI) for work within Bradley Palmer State Park in Hamilton, Massachusetts (Site). DCR is proposing to resurface approximately 4,300 feet (0.81 miles) of Bradley Palmer State Park Road between the Topsfield Town Line and Highland Street (Project). The Project also includes the replacement of a collapsed culvert.

As a result of the Project, there will be temporary and permanent impacts to resources regulated under the Wetlands Protection Act (WPA). However, impacts to the Project have been minimized to the extent practicable, and the Project will result in an improvement over existing conditions, as described in the accompanying narrative.

If you have any questions regarding the submitted application, please do not hesitate to contact me at (203) 536-1833 or [jessica.marino@aecom.com](mailto:jessica.marino@aecom.com).

Sincerely,

Jessica Marino, PWS  
Senior Wetland Scientist  
[jessica.marino@aecom.com](mailto:jessica.marino@aecom.com)

Copies to:

- Tom Valton, DCR
- MassDEP – Northeast Regional Office

# Notice of Intent

Pavement Improvements and Roadway Resurfacing at  
Bradley Palmer State Park

Hamilton, Massachusetts

Massachusetts Department of Conservation & Recreation

## Quality information

Prepared by	Checked by	Verified by	Approved by
			
Jessica Marino Senior Wetland Scientist	Thomas J. Keough Project Manager		

## Revision History

Revision	Revision date	Details	Authorized	Name	Position
1.0	2/4/2025	First draft		Jessica Marino	Senior Scientist

## Distribution List

# Hard Copies	PDF Required	Association / Company Name
1	✓	Town of Hamilton Conservation Commission
1	✓	MassDEP – Northeast Regional Office
1	✓	Natural Heritage and Endangered Species Program (NHESP)

**Prepared for:**

Massachusetts Department of Conservation & Recreation  
6 Edwin H. Land Boulevard  
Cambridge, MA 02141

**Prepared by:**

Jessica Marino  
Senior Wetland Scientist  
T: 203-536-1833  
E: [jessica.marino@aecom.com](mailto:jessica.marino@aecom.com)

AECOM  
250 Apollo Drive  
Chelmsford, MA 01824  
[aecom.com](http://aecom.com)

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Appendix B – Site Plans

Appendix C – Stormwater Checklist

Appendix D – Photographic Log

Appendix E – Abutter Information

# WPA Form 3 & Wetland Fee Transmittal Forms



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hamilton

City/Town

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:  
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

540 Highland Street

a. Street Address

Hamilton

b. City/Town

01982

c. Zip Code

Latitude and Longitude:

42.64359

d. Latitude

-70.8909

e. Longitude

Map 12

f. Assessors Map/Plat Number

Parcel 20-1

g. Parcel /Lot Number

2. Applicant:

Thomas

a. First Name

Valton

b. Last Name

Massachusetts Department of Conservation and Recreation

c. Organization

6 Edwin H. Land Boulevard

d. Street Address

Cambridge

e. City/Town

MA

f. State

02141

g. Zip Code

339-368-2930

h. Phone Number

i. Fax Number

thomas.valton@state.ma.us

j. Email Address

3. Property owner (required if different from applicant): ☐ Check if more than one owner

Priscilla

a. First Name

Geigis

b. Last Name

Massachusetts Department of Conservation and Recreation

c. Organization

10 Park Plaza, Suite 6620

d. Street Address

Boston

e. City/Town

MA

f. State

02116

g. Zip Code

617-626-4986

h. Phone Number

i. Fax Number

priscilla.geigis@mass.gov

j. Email address

4. Representative (if any):

Jessica

a. First Name

Marino

b. Last Name

AECOM

c. Company

250 Apollo Drive

d. Street Address

Chelmsford

e. City/Town

MA

f. State

01824

g. Zip Code

203-536-1833

h. Phone Number

i. Fax Number

jessica.marino@aecom.com

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$750.00

a. Total Fee Paid

\$362.50

b. State Fee Paid

\$387.50

c. City/Town Fee Paid



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hamilton

City/Town

**A. General Information (continued)**

6. General Project Description:

DCR is proposing to mill and overlay Bradley Palmer State Park Road from the Topsfield Town Line to Highland Street.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- |   |   |
|---|---|
| 1. <input type="checkbox"/> Single Family Home                        | 2. <input type="checkbox"/> Residential Subdivision       |
| 3. <input type="checkbox"/> Commercial/Industrial                     | 4. <input type="checkbox"/> Dock/Pier                     |
| 5. <input type="checkbox"/> Utilities                                 | 6. <input type="checkbox"/> Coastal engineering Structure |
| 7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) | 8. <input checked="" type="checkbox"/> Transportation     |
| 9. <input type="checkbox"/> Other                                     |   |

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. ☒ Yes ☐ No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)
- 10.53(3)(f): maintenance and improvement of existing public roadways.

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Southern Essex

a. County

3389

c. Book

b. Certificate # (if registered land)

25

d. Page Number

**B. Buffer Zone & Resource Area Impacts (temporary & permanent)**

1. ☐ Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
2. ☒ Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.





**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hamilton

City/Town

**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input checked="" type="checkbox"/> Bordering Vegetated Wetland	8 SF 1. square feet	0 SF 2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet 3. cubic yards dredged	2. square feet

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input checked="" type="checkbox"/> Bordering Land Subject to Flooding	3,209 SF (temporary) 1. square feet 0 SF 3. cubic feet of flood storage lost	0 SF 2. square feet 0 SF 4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet 2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input checked="" type="checkbox"/> Riverfront Area	Unnamed tributary to Ipswich River (inland) 1. Name of Waterway (if available) - <b>specify coastal or inland</b>	

2. Width of Riverfront Area (check one):

- ☐ 25 ft. - Designated Densely Developed Areas only
- ☐ 100 ft. - New agricultural projects only
- ☒ 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: 50,258 SF  
square feet

4. Proposed alteration of the Riverfront Area:

<u>5,375 SF (temporary)</u>	<u>2,163 SF (temporary)</u>	<u>3,212 SF (temporary)</u>
a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI? ☒ Yes ☐ No

6. Was the lot where the activity is proposed created prior to August 1, 1996? ☒ Yes ☐ No

3. ☐ Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hamilton

City/Town

**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____ 2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet _____	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet _____	
h. <input type="checkbox"/> Salt Marshes	1. square feet _____	2. sq ft restoration, rehab., creation _____
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet _____	
	2. cubic yards dredged _____	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet _____	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged _____	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet _____	
4. <input type="checkbox"/> Restoration/Enhancement		
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.		
a. square feet of BVW _____	b. square feet of Salt Marsh _____	

5. ☐ Project Involves Stream Crossings

a. number of new stream crossings \_\_\_\_\_

b. number of replacement stream crossings \_\_\_\_\_



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hamilton

City/Town

**C. Other Applicable Standards and Requirements**

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

**Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review**

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a. ☒ Yes ☐ No

**If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581**

August 2021

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

1. ☐ Percentage/acreage of property to be altered:

(a) within wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. ☐ Assessor's Map or right-of-way plan of site

2. ☒ Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*

(a) ☒ Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) ☒ Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/ma-endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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**C. Other Applicable Standards and Requirements (cont'd)**

- (c) ☒ MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

- (d) ☐ Vegetation cover type map of site

- (e) ☐ Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1. ☐ Project is exempt from MESA review.  
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. ☐ Separate MESA review ongoing.

a. NHESP Tracking #

b. Date submitted to NHESP

3. ☐ Separate MESA review completed.

Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. ☒ Not applicable – project is in inland resource area only      b. ☐ Yes    ☐ No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 South Rodney French Blvd.  
New Bedford, MA 02744  
Email: [dmf.envreview-south@mass.gov](mailto:dmf.envreview-south@mass.gov)

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [dmf.envreview-north@mass.gov](mailto:dmf.envreview-north@mass.gov)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c. ☐ Is this an aquaculture project?

- d. ☐ Yes    ☐ No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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## **C. Other Applicable Standards and Requirements (cont'd)**

**Online Users:**

Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?  
 a. ☐ Yes ☒ No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.  
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?  
 a. ☐ Yes ☒ No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?  
 a. ☐ Yes ☒ No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?  
 a. ☒ Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
  1. ☐ Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
  2. ☒ A portion of the site constitutes redevelopment
  3. ☐ Proprietary BMPs are included in the Stormwater Management System.
- b. ☐ No. Check why the project is exempt:
  1. ☐ Single-family house
  2. ☐ Emergency road repair
  3. ☐ Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

## **D. Additional Information**

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. ☒ USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. ☒ Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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**D. Additional Information (cont'd)**

3. ☒ Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. ☒ List the titles and dates for all plans and other materials submitted with this NOI.

Bradley Palmer Pavement Resurfacing, Maintenance, and Repair

a. Plan Title

AECOM

b. Prepared By

10/29/2024

d. Final Revision Date

Randy Twiss

c. Signed and Stamped by

Various

e. Scale

f. Additional Plan or Document Title

g. Date

5. ☐ If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. ☒ Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. ☐ Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. ☒ Attach NOI Wetland Fee Transmittal Form
9. ☒ Attach Stormwater Report, if needed.

**E. Fees**

1. ☐ Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

231

2. Municipal Check Number

Paid online via eDEP

4. State Check Number

Jessica

6. Payor name on check: First Name

2/28/25

3. Check date

5. Check date

Rebholz

7. Payor name on check: Last Name



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**F. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant 	2. Date <i>2/26/2025</i>
3. Signature of Property Owner (if different) Jessica Marino	4. Date 2/27/25
5. Signature of Representative (if any)	6. Date

**For Conservation Commission:**

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

**For MassDEP:**

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

**Other:**

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



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**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

## A. Applicant Information

### 1. Location of Project:

Bradley Palmer State Park Road

a. Street Address

Hamilton

b. City/Town

Paid online via eDEP

\$362.50

c. Check number

d. Fee amount

### 2. Applicant Mailing Address:

Thomas

a. First Name

Valton

b. Last Name

Massachusetts Department of Conservation and Recreation

c. Organization

6 Edwin H. Land Boulevard

d. Mailing Address

Cambridge

e. City/Town

MA

f. State

02141

g. Zip Code

339-368-2930

h. Phone Number

i. Fax Number

thomas.valton@state.ma.us

j. Email Address

### 3. Property Owner (if different):

Priscilla

a. First Name

Geigis

b. Last Name

Massachusetts Department of Conservation and Recreation

c. Organization

10 Park Plaza, Suite 6620

d. Mailing Address

Boston

e. City/Town

MA

f. State

02116

g. Zip Code

617-626-4986

h. Phone Number

i. Fax Number

priscilla.geigis@mass.gov

j. Email Address

## B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.





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# NOI Wetland Fee Transmittal Form

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### B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
2e.) inland limited project	1	\$500	\$500.00 x 1.5
Step 5/Total Project Fee:			\$750.00

### Step 6/Fee Payments:

Total Project Fee:	<u>\$750.00</u>
	a. Total Fee from Step 5
State share of filing Fee:	<u>\$362.50</u>
	b. 1/2 Total Fee <b>less</b> \$12.50
City/Town share of filling Fee:	<u>\$387.50</u>
	c. 1/2 Total Fee <b>plus</b> \$12.50

### C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection  
Box 4062  
Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

**To MassDEP Regional Office** (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

# Project Narrative

## 1. Introduction

On behalf of the Massachusetts Department of Conservation and Recreation (DCR), AECOM is submitting this Notice of Intent (NOI) for the resurfacing of Bradley Palmer State Park Road between the Topsfield Town Line and Highland Street (Project) in Hamilton, Massachusetts (Site), and the repair of a culvert within the roadway. This NOI is being submitted pursuant to the Massachusetts Wetlands Protection Act (WPA) (MGL C. 131, s. 40) and its Regulations (310 CMR 10.00) as well as the Town of Hamilton Conservation Bylaw.

Under 310 CMR 10.02(2)(b)2.p, the proposed pavement repair, resurfacing, and reclamation of existing roadways within the right-of-way configuration is considered a "minor activity" that is temporary and has negligible impacts. Per 310 CMR 10.02(2)(a) and (b), the proposed activity is not subject to regulation when it falls within the Riverfront Area and/or 100-foot Buffer Zone. However, portions of the Project are also located within Bordering Land Subject to Flooding (BLSF), and the resurfacing of these segments of the roadway is not automatically exempt from regulation.

The repair of the existing culvert qualifies as a "Limited Project" under the WPA regulations for inland resource areas per 310 CMR 10.53(3)(k) for the *"routine maintenance and repair of road drainage structures including culverts and catch basins, drainage easements, ditches, watercourses and artificial water conveyances to ensure flow capacities which existed on the effective date of 310 CMR 10.51 through 10.60 (April 1, 1983)."*

### 1.1 Project Overview

DCR is proposing to resurface approximately 4,300 feet (0.81 miles) of Bradley Palmer State Park Road between the Topsfield Town Line and Highland Street in Hamilton, Massachusetts, as shown on the United States Geological Survey (USGS) Topographic Map (**Figure 1**) in **Appendix A**. The Project is located within the 100-foot Buffer Zone to Bank, the 100-foot Buffer Zone to BVW, BVWs, the 200-foot Riverfront Area, and Bordering Land Subject to Flooding. The Project is discussed further in Section 4.0.

### 1.2 Site Description

Bradley Palmer State Park is a public recreation area covering 736 acres on the Ipswich River in the towns of Hamilton and Topsfield. The park contains numerous trails for walking, hiking, mountain biking, horseback riding, and cross-country skiing, and offers picnicking, canoeing, and fishing. The park is operated and maintained by DCR. The Site consists entirely of Bradley Palmer State Road. The Site includes an estimated area of 2.12 acres, in which the existing land use is degraded asphalt/concrete patching.

### 1.3 Project Purpose

The purpose of the Project is to improve roadway conditions within Bradley Palmer State Park. The current condition of the roadway is poor, with numerous asphalt cracks throughout and uneven surfaces which make driving or biking on the roadway difficult. The Project will improve the condition of the roadway throughout by creating a smooth, uneven surface for motorists, walkers, and cyclists. The Project is discussed in greater detail in Section 4.0.

### 1.4 Abutter Notification

Per the Town of Hamilton Conservation Bylaw Regulations Section V, Subsection B, "the Applicant shall notify all abutters within 300 feet of the subject parcel of the filing of the NOI, the availability of the NOI for public inspection at the Commission office, and the public hearing date." Proof of abutter notification under the bylaw is included in **Appendix E**.

## 2. Existing Conditions

## 2.1 Desktop Review of Project Limits

According to the USGS topographic map, the approximate range of elevation for the Site is from 42 to 58 feet above mean sea level (**Figure 1**). Based on reviews of the Massachusetts Department of Environmental Protection (MassDEP) Wetland Area Maps for Essex County<sup>1</sup>, the Site is mapped as having the following inland resources: Wooded Swamp Deciduous, Shrub Swamp, and Shallow Marsh Meadow or Fen (**Figure 3**).

Based on review of the National Wetland Inventory (NWI) Map provided by the U.S. Fish and Wildlife Service (USFWS), inland wetlands are mapped within and surrounding the Site and have similar boundaries as the inland resources mapped by MassDEP (**Figure 3**). The wetlands mapped within the Site are classified as palustrine forested, broad-leaved deciduous, seasonally flooded/saturated (PFO1E), palustrine forested, broad-leaved deciduous, seasonally flooded (PFO1C), palustrine scrub shrub, broad-leaved deciduous, semipermanently flooded (PSS1F), palustrine forested, broad-leaved deciduous, seasonally flooded/saturated, partially drained/ditched (PFO1Ed), riverine intermittent streambed, seasonally flooded (R4SBC), and palustrine unconsolidated bottom, permanently flooded, diked/impounded (PUBHh).

The most recently issued Flood Insurance Rate Map (FIRM)<sup>2</sup> produced by the Federal Emergency Management Agency (FEMA), indicates that a portion of the Site is located within Zone A, which is characterized as an area with a 1% or greater chance of flooding (**Figure 4**). There is no Base Flood Elevation (BFE) identified for the Project.

According to the most recently available data provided by the Massachusetts Natural Heritage and Endangered Species Program<sup>3</sup>, the entire Site is located within a Priority Habitat of Rare Species area (PH #1915) and Estimated Habitat of Rare Wildlife area (EH #1237). There are no Certified or Potential Vernal Pools within or adjacent to the Site. The Site is not located within an Area of Critical Environmental Concern<sup>4</sup> or Outstanding Resource Water<sup>5</sup>. The Site is located within a Zone II Wellhead Protection Area<sup>6</sup> associated with the Ipswich Department of Public Utilities Water Department (**Figure 5**).

## 2.2 Resource Areas and Buffer Zones

A field delineation was conducted between June and November of 2023 and was performed in accordance with methods developed by MassDEP<sup>7</sup> and the U.S. Army Corps of Engineers (USACE)<sup>8</sup>. Wetland resources areas identified within or near the Site included Bank, Land Under Water Bodies and Waterways, BVWs, and Bordering Land Subject to Flooding. These resources are defined under the WPA as:

- **Bank:** As defined in 310 CMR 10.54(2)(a), is “the portion of the land surface which normally abuts and confines a waterbody.”
- **Land Under Water Bodies and Waterways (LUWW):** As defined in 310 CMR 10.56(2)(a), is “the land beneath any creek, river, stream, pond or lake.”
- **Bordering Vegetated Wetlands (BVW):** As defined in 310 CMR 10.55(2)(a), are “freshwater wetlands which border on creeks, rivers, streams, ponds and lakes.”
- **Riverfront Area:** As defined in 310 CMR 10.58(2)(a), is “the area of land between a river's mean annual high-water line measured horizontally outward from the river and a parallel line located 200 feet away.”
- **Bordering Land Subject to Flooding (BLSF):** As defined in 310 CMR 10.57(2)(a), is “an area with low, flat topography adjacent to and inundated by flood waters rising from creeks, rivers, streams, ponds or lakes.”

Wetland resource areas within the Site are depicted on the Site Plans in **Appendix B**. The WPA establishes

<sup>1</sup>MassDEP. 2020. Mass DEP Online Map Viewer Wetland and Wetland Change Areas Map. Available at: <http://maps.massgis.state.ma.us/images/dep/omv/wetviewer.htm>. Accessed January 2025.

<sup>2</sup>Federal Emergency Management Agency, October 2017, National Hazard Flood Layer, Digital Flood Insurance Rate Map. Map 25009C0269F. Effective 7/3/2012. Accessed January 2025.

<sup>3</sup>Massachusetts Natural Heritage and Endangered Species Program, August 2021. Massachusetts Natural Heritage Atlas. 15th Edition.

<sup>4</sup>MassGIS (collaboration with DCR and CZM), Sept. 2017. Massachusetts ACECs.

<sup>5</sup>MassGIS, Dec. 2017. Designated Outstanding Resource Waters of Massachusetts.

<sup>6</sup>MassGIS, Oct. 2017. Approved Wellhead Protection Areas (Zone I and IWPAs).

<sup>7</sup>MassDEP, 1995. Delineating BVWs Under the Massachusetts Wetlands Protection Act.

<sup>8</sup>USACE, 2012. Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Version 2.0.

100-foot Buffer Zones extending from inland resources including Bank and BVW. The WPA states that any activities that are undertaken within 100 feet of an area specified in 310 CMR 10.02(1)(a) will be conducted per 310 CMR 10.02(2)(b), “in a manner so as to reduce the potential for any adverse impacts to the resource area during construction, and with post-construction measures implemented to stabilize any disturbed areas.” The WPA also establishes a 200-foot Riverfront Area for the unnamed tributary to Ipswich River. Work within the Riverfront Area must meet the performance standards pursuant to 310 CMR 10.58(4).

### 2.2.1 Hamilton Conservation Bylaw Resource Areas

Wetland resources subject to jurisdiction under the Hamilton Conservation Bylaw (“bylaw”) differ from those protected under the WPA in that additional areas are protected by the bylaw. In addition to the resource areas outlined above in Section 2.2, areas subject to protection under the bylaw include smaller ponds, vernal pools, certain freshwater wetlands that may not meet the definition of BVW under the WPA and Associated Upland Resource Areas (AURAs). AURAs are defined under the bylaw as “areas of land extending 100 feet horizontally outward from the boundary of any freshwater wetlands, marshes, wet meadows, bogs, swamps, vernal pools, springs, banks, reservoirs, lakes, ponds of any size, and lands under water bodies.”

## 3. Alternatives Analysis

Three alternatives were considered as part of the Project, as described below. Each alternative that met the overall project purpose was evaluated based on practicability and environmental impacts to determine the Least Environmentally Damaging Practicable Alternative (LEDPA). Almost the entire Site is located within the Town of Hamilton’s 100-foot AURA and a portion of the roadway entirely overlaps the Riverfront Area; therefore, no feasible alternatives exist for the Project that would not impact the AURA/Riverfront Area. Impacts to the AURA and Riverfront Area are unavoidable but have been minimized to the extent practicable.

**Alternative 1 – No Build:** Alternative 1, the No-Build Alternative, assumes that no changes would be made to the Site. Bradley Palmer State Park Road would not be repaved, and the collapsed culvert would not be replaced. Under Alternative 1, the roadway would continue to crack and deteriorate, and the culvert would likely cause a partial washout of the roadway, resulting in lengthy road closures to the park. The No-Build Alternative does not achieve the purpose of the Project, which is to improve the condition of the roadway. Therefore, the No-Build Alternative was dismissed.

**Alternative 2 – Partial Site Improvements:** Alternative 2, Partial Site Improvements, would include resurfacing of the roadway, but would not include replacement of the culvert. Under this alternative, impacts to the Riverfront Area and AURA would be reduced, but the culvert underneath the roadway would continue to deteriorate. Although Alternative 2 would reduce all impacts to regulated resources, it does not fully achieve the purpose of the Project. Therefore, Alternative 2 was dismissed.

**Alternative 3 – Site Improvements (Preferred Alternative):** Alternative 3, Site Improvements, assumes the resurfacing of the roadway and replacement of the deteriorating culvert. Alternative 3 was selected as the preferred alternative because it fully achieves the purpose of the Project, which is to improve the condition of the roadway for motorists, cyclists, and walkers.

## 4. Project Description

The Project involves approximately 4,300 feet (0.81 miles) of roadway resurfacing along Bradley Palmer State Park Road between the Topsfield Town Line and Highland Street. The Project includes mill and overlay for all but 60 linear feet, where full depth reconstruction of the roadway is proposed. No trees will be removed as part of the Project. Also included in the scope of the Project is the replacement of a collapsed 24” culvert with a 24” high-density polyethylene (HDPE) pipe. Details regarding the limits of the proposed activities are provided in **Appendix B**.

## 4.1 Minor Activities within the Buffer Zone

Pursuant to 310 CMR 10.02(b)(2)(p), “pavement repair, resurfacing, and reclamation of existing roadways within the right-of-way configuration provided that the roadway and shoulders are not widened” within the Buffer Zone is considered a minor activity and is not subject to regulation under the WPA. Therefore, impact areas due to resurfacing within the 100-foot Buffer Zones to Bank and BVW are not included in Table 1 below.

## 4.2 Erosion and Sedimentation Control

During construction, erosion and sedimentation controls such as silt fencing and compost filter tubes (or similar) will be utilized. All erosion and sedimentation controls will be removed following completion of the work, and all disturbed areas will be permanently stabilized. Erosion controls will be inspected on a regular basis and maintained in working condition until all disturbed areas are stable. Locations and details of erosion and sediment controls are shown in **Appendix B**.

The Contractor will also inspect the Site and remove any demolition debris or other construction related materials upon completion. To minimize runoff and washout, no work shall be performed adjacent to resource areas during significant rain events.

## 4.3 Restoration

Following construction, gravel and paved surfaces will be restored to pre-construction conditions in accordance with the DCR Parkway Standards. Disturbed upland areas will be loamed and seeded with an upland grass seed mix to match the existing park environment. All restoration areas are shown in **Appendix B** and on Sheet D-02 in the Construction Details.

## 4.4 Project Impacts

The Project is anticipated to result in impacts to WPA and Town of Hamilton jurisdictional resource areas, as shown in the table below.

**Table 1. Summary of Impacts**

Activity	Resource Area(s)	Temporary Impacts (ft <sup>2</sup> )	Permanent Impacts (ft <sup>2</sup> )	Total Impacts (ft <sup>2</sup> )
Roadway Resurfacing/Repaving	BLSF	3,209 ft <sup>2</sup>	0 ft <sup>2</sup>	3,209 ft <sup>2</sup>
	AURA	65,372 ft <sup>2</sup>	0 ft <sup>2</sup>	65,372 ft <sup>2</sup>
	Riverfront Area	5,375 ft <sup>2</sup>	0 ft <sup>2</sup>	5,375 ft <sup>2</sup>
Culvert Replacement	BVW	0 ft <sup>2</sup>	8 ft <sup>2</sup>	8 ft <sup>2</sup>

### 4.4.1 Floodplain/BLSF

Portions of the Site are located within the 100-year floodplain associated with Ipswich River. The limits of the floodplain are concurrent with the limits of BLSF. Per the Site's FEMA FIRM (Map #25009C0269F), no base flood elevation (BFE) on the Site is available. Therefore, the limit of BLSF was conservatively estimated to be 51.0' based on the highest contour that intersected FEMA Flood Zone A. No flood storage loss will occur at any elevation because there is no change in the grade of the road, and work within the floodplain is limited to mill and overlay; therefore, floodplain compensation is not provided as part of the Project. Additionally, the Project will not impact or impair BLSF's capacity to provide important wildlife habitat functions as the impact areas associated with BLSF are comprised entirely of the existing roadway and do not currently provide any important wildlife habitat functions.

### 4.4.2 AURA

A majority of the Site is located within AURAs. All AURAs on the Site are associated with BVWs. Temporary impacts to AURAs are due to the installation of erosion and sedimentation controls and resurfacing of the

roadway. There will be no increase in impervious surface due to the Project and the condition of the Site will return to pre-construction conditions upon completion of the Project.

#### 4.4.3 Riverfront Area

Portions of the Site are located within the Riverfront Area associated with an unnamed tributary to Ipswich River, a mapped perennial stream. The Riverfront Area is concurrent with the outer riparian zone and consists entirely of the existing roadway and maintained right-of-way. For areas temporarily impacted by the Project, they will be restored to pre-construction condition, including loaming and seeding with an appropriate upland seed mix<sup>9</sup>. Impacts to the Riverfront Area quantified in Table 1.

#### 4.4.4 BVW

A small portion of existing BVWs on both sides of the roadway will be permanently impacted by the Project due to the culvert replacement. Two (2) flared-end sections (FES) at either end of the new HDPE pipe will be installed within BVW. The FES will result in approximately 4 ft<sup>2</sup> of impact on both sides of the roadway, for a total permanent impact to BVW of 8 ft<sup>2</sup>. No grading for installation of the FES is required as part of the Project. Details regarding the FES are shown on Sheet D-02 of the Construction Details in **Appendix B**.

### 5. Regulatory Compliance

The following section details the Project's regulatory compliance with the WPA and the bylaw, including all applicable resource area performance standards. As afforded at 310 CMR 10.53(3), it is within the issuing authority's discretion to consider the magnitude of the alteration and the significance of the Project to the interests identified in the WPA, the availability of reasonable alternatives to the proposed activities, the extent to which disturbances are minimized, and the extent to which mitigation measures, including restoration, are provided to contribute to the protection of the interests identified in the WPA.

#### 5.1 Massachusetts Wetlands Protection Act

The Project meets performance standards associated with WPA resources as described below.

- **100-foot Buffer Zone to Bank/BVW ("Buffer Zone")**

The Buffer Zone is not a resource area pursuant to the Wetlands Protection Act, and as such, there are no performance standards associated with the 100-foot Buffer Zone to Bank/BVW.

- **BLSF (310 CMR 10.57(4)):**

*310 CMR 10.57(4)(a)(1): Compensatory storage shall be provided for all flood storage volume that will be lost as the result of a proposed project within Bordering Land Subject to Flooding, when in the judgment of the issuing authority said loss will cause an increase or will contribute incrementally to an increase in the horizontal extent and level of flood waters during peak flows. Compensatory storage shall mean a volume not previously used for flood storage and shall be incrementally equal to the theoretical volume of flood water at each elevation, up to and including the 100-year flood elevation, which would be displaced by the proposed project. Such compensatory volume shall have an unrestricted hydraulic connection to the same waterway or water body. Further, with respect to waterways, such compensatory volume shall be provided within the same reach of the river, stream or creek.*

There will be no flood storage lost because of the Project. The Project does not propose any changes to grade, and there will be no increase in impervious area as part of the Project. Therefore, floodplain compensation is not required as part of the Project.

*310 CMR 10.57(4)(a)(2): Work within Bordering Land Subject to Flooding, including that work required to provide the above-specified compensatory storage, shall not restrict flows so as to cause an increase in flood stage or velocity.*

<sup>9</sup>New England Roadside Matrix Upland Seed Mix (<https://newp.com/product/new-england-roadside-matrix-upland-seed-mix/>) or equivalent.

The Project will not restrict the flows of any body of water, and the Project will not cause an increase in flood stage or velocity.

*310 CMR 10.57(4)(a)(3): Work in those portions of bordering land subject to flooding found to be significant to the protection of wildlife habitat shall not impair its capacity to provide important wildlife habitat functions. Except for work which would adversely affect vernal pool habitat, a project or projects on a single lot, for which Notice(s) of Intent is filed on or after November 1, 1987, that (cumulatively) alter(s) up to 10% or 5,000 ft<sup>2</sup> (whichever is less) of land in this resource area found to be significant to the protection of wildlife habitat, shall not be deemed to impair its capacity to provide important wildlife habitat functions. Additional alterations beyond the above threshold, or altering vernal pool habitat, may be permitted if they will have no adverse effects on wildlife habitat, as determined by procedures contained in 310 CMR 10.60.*

All work within BLSF is occurring within previously degraded and/or disturbed right-of-way per 310 CMR 10.57(1)(a)(3), and thus will not impair the projection of wildlife habitat.

- **Riverfront Area (310 CMR 10.58(4))**

As previously stated, no permanent impacts are proposed to the Riverfront Area and roadway resurfacing projects are exempt from the performance standards of the Riverfront Area. The General Performance Standards for Riverfront Area are outlined at 310 CMR 10.58(4) and include the following:

*310 CMR 10.58(4)(a): The work shall meet the performance standards for all other resource areas within the Riverfront Area, as identified in 310 CMR 10.30 (Coastal Bank), 10.32 (Salt Marsh), 10.55 (BVW), and 10.57 (Land Subject to Flooding). When work in the Riverfront Area is also within the buffer zone to another resource area, the performance standards for the Riverfront Area shall contribute to the protection of the interests of M.G.L. c. 131, § 40 in lieu of any additional requirements that might otherwise be imposed on work in the buffer zone within the Riverfront Area.*

The Project is a Limited Project per 310 CMR 10.53(3)(f) and impacts to other resources have been avoided and minimized to the greatest extent practicable.

*310 CMR 10.58(4)(b): No project may be permitted within the Riverfront Area which will have any adverse effect on specified habitat sites of rare wetland or upland, vertebrate or invertebrate species, as identified by the procedures established under 310 CMR 10.59 or 10.37, or which will have any adverse effect on vernal pool habitat certified prior to the filing of the Notice of Intent.*

A portion of the Project falls within the NHESP Estimated Habitat of Rare Wildlife area and Priority Habitat of Rare Species area and is co-located within the Riverfront Area. A Streamlined MESA filing is being submitted concurrently with this NOI.

*310 CMR 10.58(4)(c): There must be no practicable and substantially equivalent economic alternative to the proposed project with less adverse effects on the interests identified in M.G.L. c. 131 § 40.*

As described in Section 3.0, there are no practicable or substantially equivalent alternatives for the Project and the proposed activities improve existing conditions pedestrians, cyclists, and vehicles that traverse Bradley State Park Road.

*310 CMR 10.58(4)(d): The work, including proposed mitigation measures, must have no significant adverse impact on the Riverfront Area to protect the interests identified in M.G.L. c. 131, § 40.*

The proposed project will not have an adverse impact on RFA, as the resurfacing of the existing roadway will not result in new impervious surfaces.

- **BVW (310 CMR 10.55(4))**

*310 CMR 10.55(4)(a): Where the presumption set forth in 310 CMR 10.55(3) is not overcome, any proposed work in a BVW shall not destroy or otherwise impair any portion of said area.*



The Project will permanently impact approximately 8 ft<sup>2</sup> of BVW due to installation of 2 FES as part of the culvert replacement. However, the Project meets the definition of a Limited Project under 310 CMR 10.53(3)(k) and impacts to other resources have been avoided and minimized to the greatest extent practicable. Additionally, there are no feasible alternatives exist for the Project that would not impact the BVW. The current culvert is collapsing underneath the roadway and requires replacement.

*310 CMR 10.55(4)(b): Notwithstanding the provisions of 310 CMR 10.55(4)(a), the issuing authority may issue an Order of Conditions permitting work which results in the loss of up to 5,000 ft<sup>2</sup> of BVW when said area is replaced in accordance with the following general conditions and any additional, specific conditions the issuing authority deems necessary to ensure that the replacement area will function in a manner similar to the area that will be lost:*

- 1. the surface of the replacement area to be created ("the replacement area") shall be equal to that of the area that will be lost ("the lost area");*
- 2. the ground water and surface elevation of the replacement area shall be approximately equal to that of the lost area;*
- 3. The overall horizontal configuration and location of the replacement area with respect to the bank shall be similar to that of the lost area;*
- 4. the replacement area shall have an unrestricted hydraulic connection to the same water body or waterway associated with the lost area;*
- 5. the replacement area shall be located within the same general area of the water body or reach of the waterway as the lost area;*
- 6. at least 75% of the surface of the replacement area shall be reestablished with indigenous wetland plant species within two growing seasons, and prior to said vegetative reestablishment any exposed soil in the replacement area shall be temporarily stabilized to prevent erosion in accordance with standard U.S. Soil Conservation Service methods; and*
- 7. the replacement area shall be provided in a manner which is consistent with all other General Performance Standards for each resource area in Part III of 310 CMR 10.00. In the exercise of this discretion, the issuing authority shall consider the magnitude of the alteration and the significance of the project site to the interests identified in M.G.L. c. 131, § 40, the extent to which adverse impacts can be avoided, the extent to which adverse impacts are minimized, and the extent to which mitigation measures, including replication or restoration, are provided to contribute to the protection of the interests identified in M.G.L. c. 131, § 40.*

The Project will permanently impact approximately 8 ft<sup>2</sup> of the open water portion of a BVW due to installation of 2 FES as part of the culvert replacement. No wetland mitigation is proposed because creation of an 8 ft<sup>2</sup> mitigation area would result in a significantly larger footprint of disturbance than what is currently proposed. Grading and excavating to create the mitigation area would be required and could result in tree clearing and unnecessary disturbance to the existing BVWs. Additionally, the Project meets the definition of a Limited Project under 310 CMR 10.53(3)(f) and impacts to other resources have been avoided and minimized to the greatest extent practicable.

*310 CMR 10.55(4)(c): Notwithstanding the provisions of 310 CMR 10.55(4)(a), the issuing authority may issue an Order of Conditions permitting work which results in the loss of a portion of BVW when;*

- 1. said portion has a surface area less than 500 ft<sup>2</sup>;*
- 2. said portion extends in a distinct linear configuration ("finger-like") into adjacent uplands; and*
- 3. in the judgment of the issuing authority it is not reasonable to scale down, redesign or otherwise change the proposed work so that it could be completed without loss of said wetland.*

Not applicable. Although the loss of a portion of BVW is less than 500 ft<sup>2</sup>, said portion does not extend in a distinct linear configuration ("finger-like") into adjacent uplands.

*310 CMR 10.55(4)(d): Notwithstanding the provisions of 310 CMR 10.55(4)(a), (b) and (c), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.59.*

The Project will permanently impact approximately 8 ft<sup>2</sup> of BVW within NHESP-designated Estimated Habitats of Rare Wildlife area and Priority Habitats of Rare Species. A streamlined MESA filing is being submitted concurrently with this NOI.

310 CMR 10.55(4)(e): Any proposed work shall not destroy or otherwise impair any portion of a BVW that is within an ACEC designated by the Secretary of Energy and Environmental Affairs under M.G.L. c. 21A, § 2(7) and 301 CMR 12.00: ACECs. 310 CMR 10.55(4)(e):

1. supersedes the provisions of 310 CMR 10.55(4)(b) and (c);
2. shall not apply if the presumption set forth at 310 CMR 10.55(3) is overcome;
3. shall not apply to work proposed under 310 CMR 10.53(3)(l); and
4. shall not apply to maintenance of stormwater detention, retention, or sedimentation ponds, or to maintenance of stormwater energy dissipating structures, that have been constructed in accordance with a valid order of conditions.

Not applicable. The Project is not located within an ACEC.

## 5.2 Hamilton Conservation Bylaw

- **BVW (Chapter 17, Section 7, Subsection B)**

The bylaw does not outline performance standards associated with BVWs. However, the bylaw stipulates that:

*“To prevent resource area loss, the Commission shall require applicants to avoid alteration wherever feasible; to minimize alteration; and, where alteration is unavoidable and has been minimized, to provide full mitigation.”*

As discussed above, no wetland mitigation is proposed because creation of an 8 ft<sup>2</sup> mitigation area would result in a significantly larger footprint of disturbance than what is currently proposed. Grading and excavating to create the mitigation area would be required and could result in tree clearing and unnecessary disturbance to the existing BVWs. Additionally, the Project meets the definition of a Limited Project under 310 CMR 10.53(3)(f) and impacts to other resources have been avoided and minimized to the greatest extent practicable.

- **Associated Upland Resource Area (“AURA”) (Chapter 17, Section 7, Subsection C)**

The bylaw does not outline performance standards associated with AURAs. However, the bylaw stipulates that:

*“In reviewing activities within the AURA, the Commission shall presume the AURA is important in its own right and is important to the protection of other resource areas because activities undertaken in close proximity have a high likelihood of adverse impact, either immediately, as a consequence of construction, or over time, as a consequence of daily operation or existence of the activities. These adverse impacts from construction and use can include, without limitation, erosion, siltation, loss of groundwater recharge, poor water quality, and loss of wildlife habitat. Beyond those provided by this bylaw, the Commission may establish, in its regulations, design specifications, performance standards, and other measures and safeguards, including setbacks, no-disturb areas, no-build areas, and other work limits for protection of such lands, including without limitation strips of continuous, undisturbed vegetative cover, unless the applicant convinces the Commission that the area or part of it may be disturbed without harm to the values protected by this bylaw.”*

The Project will not have an adverse impact on the AURA. Erosion and sedimentation controls will be installed between the limit of work (LOW) and all resource areas, significantly reducing the risk of any siltation, erosion, or degradation of water quality. Additionally, the Project is occurring entirely within previously degraded and/or disturbed right-of-way, so no loss of wildlife habitat will occur as part of the Project.

- **Riverfront Area (Chapter 17, Section 7, Subsection E)**

The bylaw does not outline performance standards associated with the Riverfront Area. However, the bylaw stipulates that:

*“In reviewing activities within the Riverfront Area, the Commission shall presume the Riverfront Area is important to all the resource area values unless demonstrated otherwise, and no permit issued hereunder shall permit any activities unless the applicant, in addition to meeting the otherwise applicable requirements of this bylaw, has proved by a preponderance of the evidence that (1) there is no practicable alternative to the proposed project with less adverse effects, and that (2) such activities, including proposed mitigation measures, will have no significant adverse impact on the areas or values protected by this bylaw. The Commission shall regard as practicable an alternative which is reasonably available and capable of being done after taking into consideration the proposed property use, overall project purpose (e.g., residential, institutional, commercial, or industrial), logistics, existing technology, costs of the alternatives, and overall project costs.”*

The Project will not have an adverse impact on the Riverfront Area. The Project is occurring entirely within previously degraded and/or disturbed right-of-way, and erosion and sedimentation controls will be installed between the limit of work (LOW) and all resource areas.

## 6. Compliance with Massachusetts Stormwater Policy

In 1996, the Massachusetts Department of Environmental Protection (MassDEP) issued the Stormwater Policy that established Stormwater Management Standards aimed at encouraging recharge and preventing stormwater discharges from causing or contributing to the pollution of the surface waters and groundwaters of the Commonwealth. In 1997, MassDEP published the Massachusetts Stormwater Handbook as guidance on the Stormwater Policy. MassDEP has revised the Stormwater Management Standards and Massachusetts Stormwater Handbook to promote increased stormwater recharge, the treatment of more runoff from polluting land uses, low impact development (LID) techniques, pollution prevention, the removal of illicit discharges to stormwater management systems, and improved operation and maintenance of stormwater best management practices (BMPs). MassDEP applies the Stormwater Management Standards pursuant to its authority under the WPA and the Massachusetts Clean Waters Act, M.G.L. c. 21, §§ 26-53. The revised Stormwater Management Standards have been incorporated in the WPA Regulations, 310 CMR 10.05(6)(k) and the Water Quality Certification Regulations, 314 CMR 9.06(6)(a). As the Project is designed to improve the existing drainage systems and stormwater management, the Project qualifies as a “Redevelopment Project” under Volume 1, Chapter 1 of the Massachusetts Stormwater Handbook. As such, the Project is only subject to Standards 2, 3, 4, 5, and 6 to the maximum extent practicable.

### **Standard 1: No New Untreated Discharges or Erosion to Wetlands (Not Applicable)**

The Project does not include the construction of any new stormwater conveyances.

### **Standard 2: Peak Rate Attenuation (Not Applicable)**

The Project does not include the construction of a new stormwater management system, and there will be no increase in post-development peak discharge rates.

### **Standard 3: Stormwater Recharge (Fully Met)**

The Project will not result in an increase in impervious cover.

### **Standard 4: Water Quality (Not Applicable)**

No changes to TSS removal are proposed.

### **Standard 5: Land Uses with Higher Potential Pollutant Loads (Not Applicable)**

Not applicable. None of the land uses within the Site have higher potential pollutant loads.

### **Standard 6: Critical Areas (Not Applicable)**

A portion of the Project is located within a Zone II Wellhead Protection Area associated with the Ipswich Department of Public Utilities Water Department. However, the Project does not include any stormwater discharges.

**Standard 7: Redevelopment Projects (Fully Met)**

This project qualifies as a Redevelopment Project under Volume 1, Chapter 1 of the Massachusetts Stormwater Handbook and as described above.

**Standard 8: Construction Period Pollution Prevention, Erosion/Sedimentation Controls (Fully Met)**

The Project fully complies with Standard 8. Erosion control measures will be used as part of the Project and are shown in **Appendix B**.

**Standard 9: Operation and Maintenance Plan (Fully Met)**

Erosion control measures will be used as part of the Project and are shown in **Appendix B**.

**Standard 10: Prohibition of Illicit Discharges (Fully Met)**

The Applicant is not aware of any illicit discharges and will identify any suspect connections observed during construction. No proposed work or subsequent maintenance will include illicit connections to the existing stormwater system.

## **7. Summary**

The Project will result in temporary and permanent impacts to jurisdictional wetland resource areas. However, all areas within BLSF, Riverfront Area, and the AURA will be restored to pre-construction conditions following conclusion of the Project, and appropriate erosion and sediment controls will be implemented during construction. Permanent impacts to BVW are marginal, and creation of a mitigation area would result in a significantly larger footprint of disturbance than what is currently proposed. Therefore, DCR respectfully requests that the Hamilton Conservation Commission find that these measures are adequately protective of the interests identified in the WPA and the bylaw and issue an Order of Conditions approving the work shown on the accompanying Site Plans.

## Appendix A – Figures





**Figure 1 - USGS Topographic Map**  
**Pavement Resurfacing at Bradley Palmer State Park**  
 Hamilton, MA

0 0.5 1 Miles

Notes: Projection is in Massachusetts State Plane (ft) NAD 1983.

Prepared for:



Prepared by:

**AECOM**

January 2025

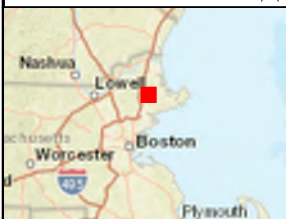




### Legend

- Site
- - Town Boundaries

Locus Map  
1 in = 100 miles



**Figure 2 - Aerial Map**  
**Pavement Resurfacing at Bradley Palmer State Park**  
Hamilton, MA

0 1,500 3,000 Feet

Notes: Projection is in Massachusetts State Plane (ft) NAD 1983.

Prepared for:

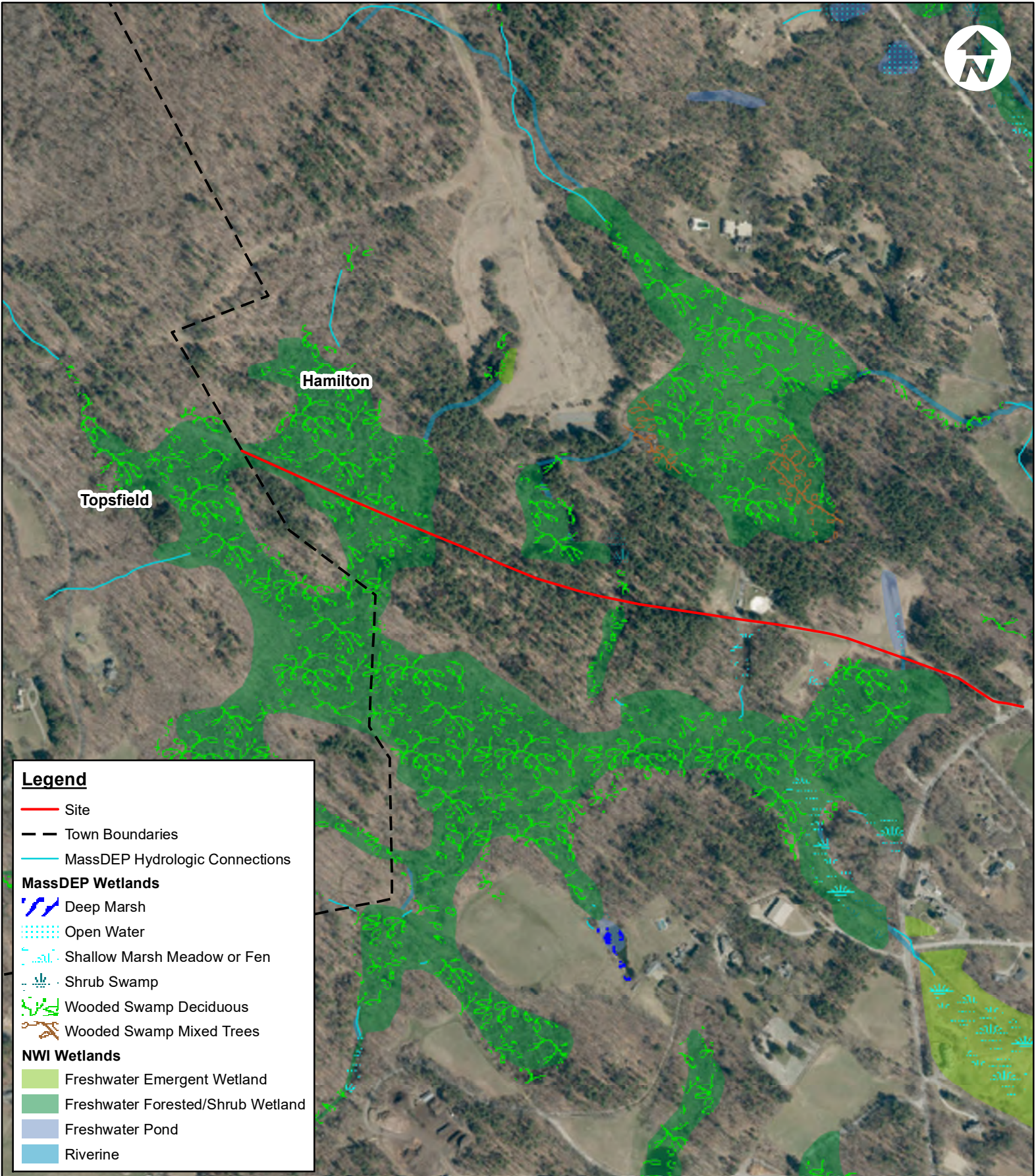


Prepared by:

**AECOM**

January 2025





**Figure 3 - Wetlands Map**  
**Pavement Resurfacing at Bradley Palmer State Park**  
Hamilton, MA

0 1,500 3,000 Feet

Notes: Projection is in Massachusetts State Plane (ft) NAD 1983.

Prepared for:

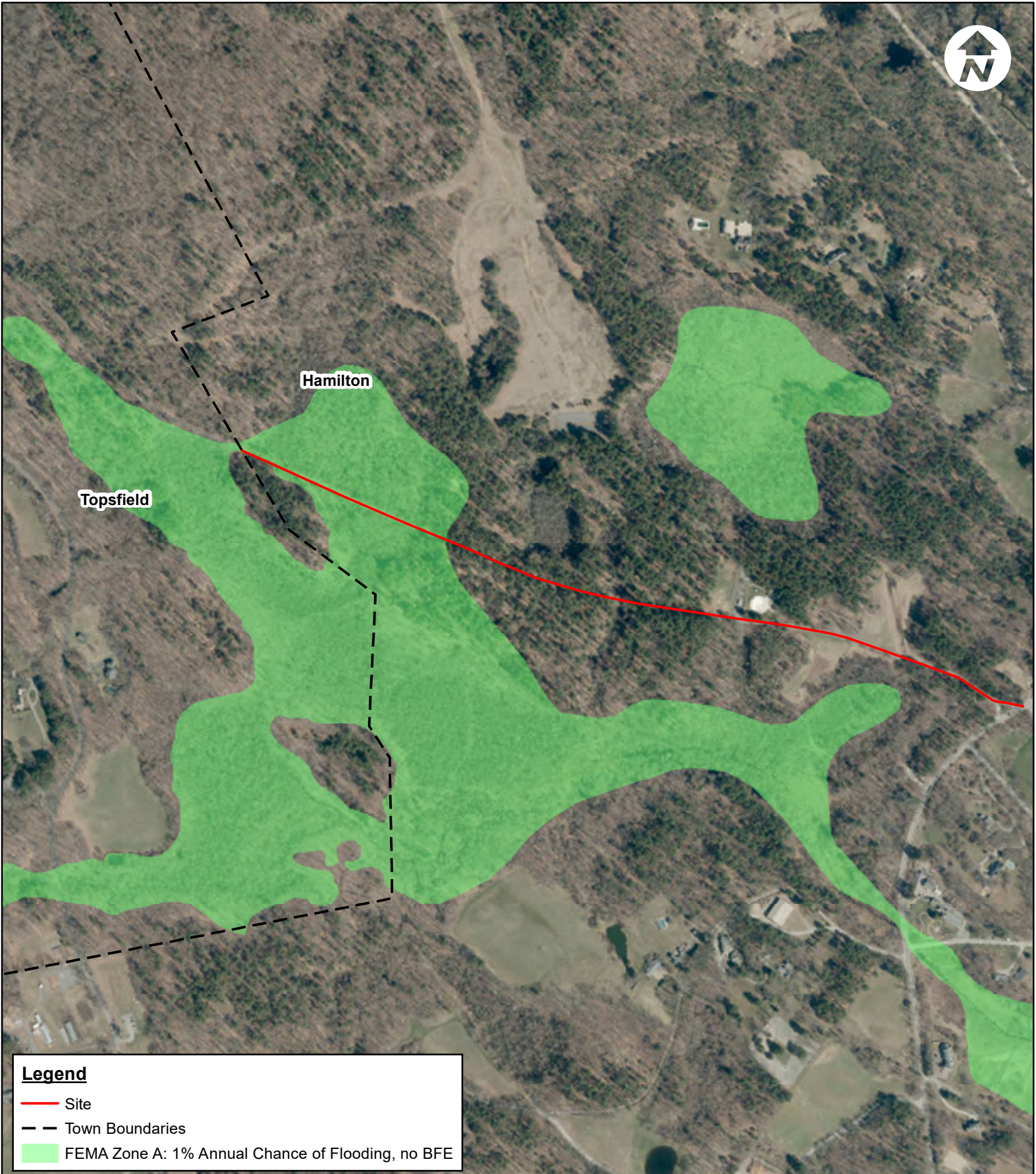


Prepared by:



January 2025

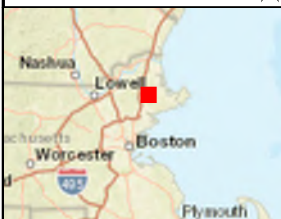




### Legend

- Site
- - Town Boundaries
- FEMA Zone A: 1% Annual Chance of Flooding, no BFE

Locus Map  
1 in = 100 miles



**Figure 4 - FEMA Map**  
**Pavement Resurfacing at Bradley Palmer State Park**  
Hamilton, MA

0 1,500 3,000 Feet

Notes: Projection is in Massachusetts State Plane (ft) NAD 1983.

Prepared for:

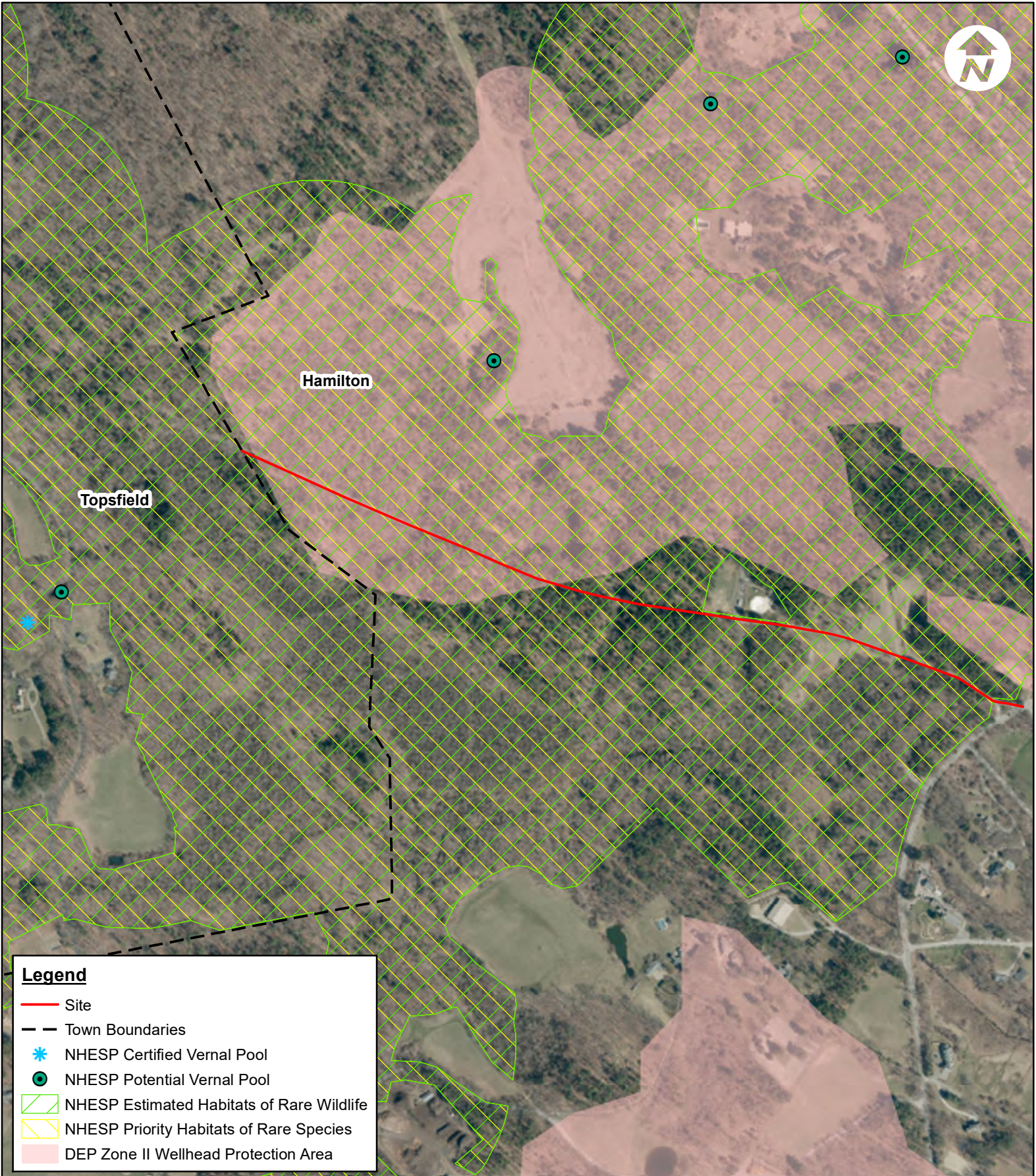


Prepared by:

**AECOM**

January 2025



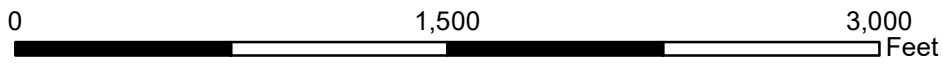


**Legend**

- Site
- - - Town Boundaries
- ★ NHESP Certified Vernal Pool
- NHESP Potential Vernal Pool
- ▨ NHESP Estimated Habitats of Rare Wildlife
- ▨ NHESP Priority Habitats of Rare Species
- DEP Zone II Wellhead Protection Area



**Figure 5 - NHESP & Others Map**  
**Pavement Resurfacing at Bradley Palmer State Park**  
 Hamilton, MA



Notes: Projection is in Massachusetts State Plane (ft) NAD 1983.

Prepared for:



Prepared by:



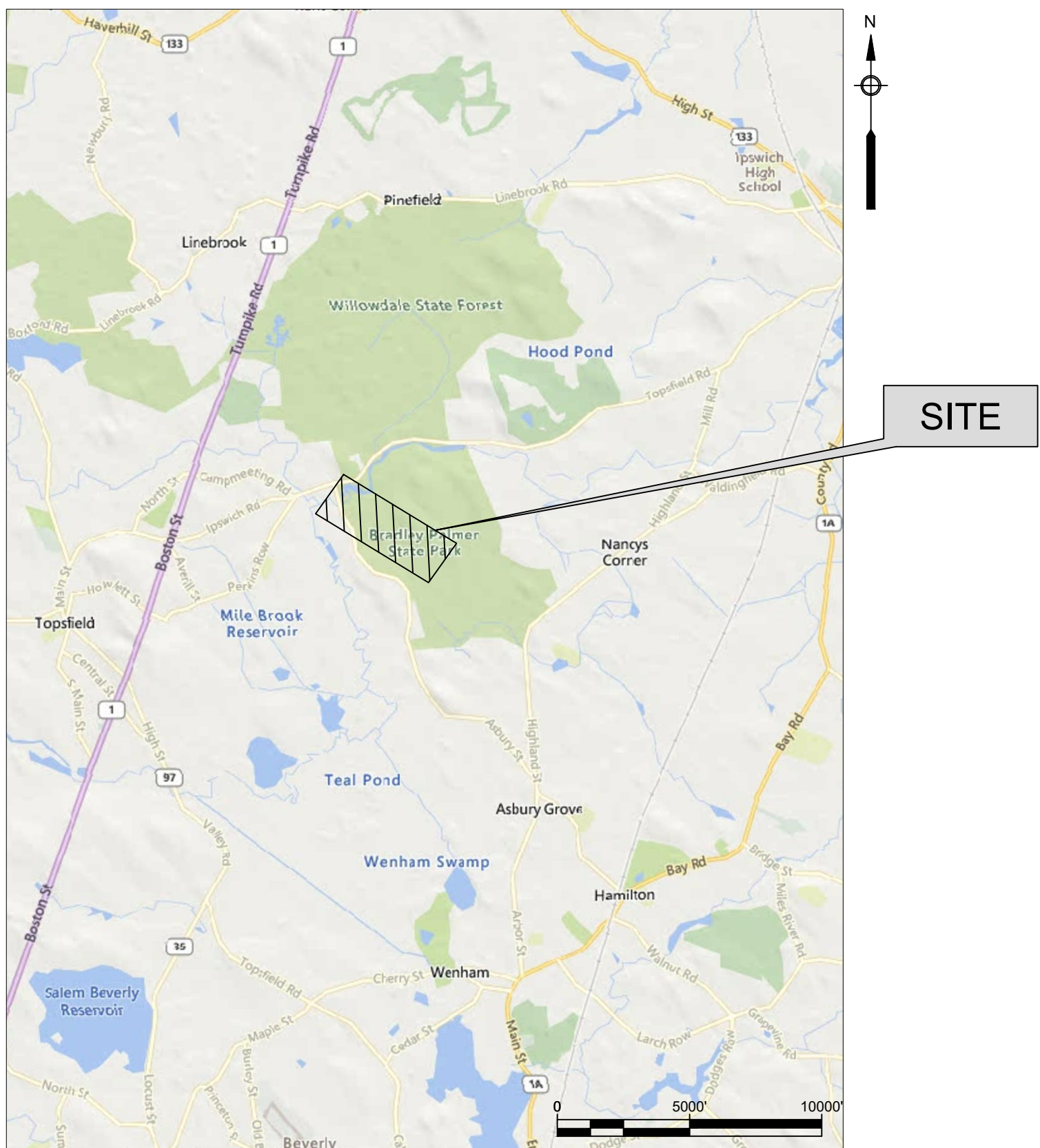
January 2025



## Appendix B – Site Plans

# BRADLEY PALMER PAVEMENT RESURFACING MAINTENANCE AND REPAIR HAMILTON, MASSACHUSETTS

## ISSUED FOR PERMIT



SITE LOCATION

### AECOM

250 APOLLO DRIVE  
CHELMSFORD, MA 01824



Date: 10-29-2024

RANDALL TWISS, P.E.  
MAPE Lic. No. 50236

ENGINEER'S CERTIFICATION:

THE UNDERSIGNED HEREBY CERTIFIES THIS PLAN TO BE AN  
APPROPRIATE REPRESENTATION OF THE PROPOSED  
SITE FEATURES. THE COMPLIANCE OF THE IMPLEMENTATION OF  
CONTRACT WORK IS THE CONTRACTOR'S SOLE RESPONSIBILITY.

NOTE:  
THIS SET OF DRAWINGS DEPICTS INFORMATION USING DIFFERENT COLORS IN  
ADDITION TO VARIOUS LINES, SYMBOLS AND TEXT. USER IS CAUTIONED THAT  
ONLY COLOR DRAWINGS WILL CONVEY THE COMPLETE PROJECT  
INFORMATION. IMPORTANT INFORMATION WILL NOT BE EVIDENT ON BLACK  
AND WHITE/GRAYSCALE DRAWINGS DUE TO LACK OF COLOR.

<u>SHEET NO.</u>	<u>TITLE</u>
T-01	COVER SHEET
GN-01	GENERAL NOTES
V-01	KEY PLAN SHEETS
SP-01 - SP-07	EXISTING CONDITIONS & SITE PREPARATION PLAN SHEETS
R-01 - R-07	RESTORATION PLAN SHEETS
D-01 - D-02	DETAIL PLAN SHEETS

### OWNER

MASSACHUSETTS DEPARTMENT  
OF CONSERVATION AND RECREATION  
251 CASUEWAY STREET, 9TH FLOOR  
BOSTON, MA 02114  
[www.mass.parks@mass.gov](mailto:www.mass.parks@mass.gov)

### ENGINEER

AECOM  
250 APOLLO DRIVE  
CHELMSFORD, MA 01824  
978-905-2100



SURVEY NOTES:

1. TOPOGRAPHIC AND BASEMAP SURVEY WAS CONDUCTED BY HANCOCK ASSOCIATES, ON AUGUST 6TH INCLUDING ADDITIONAL SITE BASEMAP FEATURES ARE FROM A PLAN ENTITLED "EXISTING CONDITIONS PLAN OF LAND IN TOPSFIELD AND HAMILTON, MA".
2. LIMITS OF BORDERING VEGETATED WETLANDS AND INTERMITTENT STREAMS WERE FIELD DELINEATED BY AECOM IN SEPTEMBER 2023
3. HORIZONTAL DATUM: MASSACHUSETTS STATE PLANE, MAINLAND ZONE, NAD 83, U.S. FEET (MA83F)
4. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM (NAVD 88)

UTILITY NOTES:

2. UTILITY LOCATIONS SHOWN HEREIN FROM FIELD LOCATIONS OF SURFACE STRUCTURES. NO UNDERGROUND UTILITIES WERE INCLUDED AS PART OF THE SURVEY.
3. THE LOCATION OF THE EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL MASSACHUSETTS DIG SAFE AT 1-888-344-7233 (OR 811) FOR UTILITY LOCATIONS AND ALLOW THE REQUIRED TIME FOR MARKING BEFORE THE SCHEDULED DATE FOR EXCAVATION OR EARTHWORK THAT MAY IMPACT EXISTING UTILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CONDITION OF ALL ABANDONED UTILITIES THAT INTERFERE WITH THE WORK PRIOR TO DISTURBANCE OR MODIFICATION. THE CONTRACTOR SHALL WORK WITH THE UTILITY OWNER TO CONFIRM THAT UTILITIES HAVE BEEN ABANDONED AND TO DETERMINE WHAT ACTION SHOULD BE TAKEN.
5. THE SIZE AND TYPE OF BURIED UTILITIES EXPOSED OR MODIFIED BY THE CONTRACTOR SHALL BE ACCURATELY NOTED AND LOCATED VIA GLOBAL POSITIONING SYSTEM SURVEY OR SWING TIES FROM KNOWN OBJECT IN DRAWINGS TO ALLOW FOR ACCURATE AS-BUILT DRAWINGS.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROMPTLY NOTIFY THE ENGINEER OF ANY CONFLICT WITH EXISTING UTILITIES.
7. ALL EXISTING FACILITIES AND UTILITIES NOT SPECIFICALLY IDENTIFIED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT CONSTRUCTION OR RESTORED AT COMPLETION OF THE WORK.

CONSTRUCTION ACCESS/ TRAFFIC CONTROL NOTES:

1. THE CONTRACTOR SHALL PROVIDE A TRAFFIC PLAN. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR IMPLEMENTING REQUIRED TRAFFIC CONTROLS.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING ANY REQUIRED TRAFFIC CONTROL INCLUDING, BUT NOT LIMITED TO, SIGNAGE AND FLAGGERS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING PUBLIC RIGHT-OF-WAYS OF ALL MUD AND DEBRIS TRACKED FROM THE SITE, INCLUDING POLICE DETAIL IF REQUIRED.
4. ALL EQUIPMENT, MATERIALS, AND PERSONNEL SHALL REMAIN WITHIN THE CONSTRUCTION LIMITS OF WORK.
5. ALL DISTURBED AREAS INCLUDING ROADS AND ACCESS ROUTES SHALL BE RESTORED TO ORIGINAL CONDITION. ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL CONDITION.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CONFINE CONSTRUCTION ACTIVITIES TO AREAS DEFINED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PRESERVE LAND RESOURCES WITHIN THE PROJECT SITE BOUNDARIES AND OUTSIDE LIMITS OF THE WORK AS MAY BE AFFECTED BY THE WORK OF THIS CONTRACT IN THEIR PRESENT CONDITION, OR RESTORE THOSE AFFECTED TO A CONDITION AFTER COMPLETION OF CONSTRUCTION THAT WILL APPEAR TO BE NATURAL.
2. THE CONTRACTOR SHALL RESTORE TREES OR LANDSCAPE FEATURES SCARRED OR DAMAGED BY EQUIPMENT OR OPERATIONS AS NEARLY AS POSSIBLE TO ORIGINAL CONDITION. THE CONTRACTOR SHALL NOT DEFACE, INJURE OR DESTROY TREES OR SHRUBS, NOR REMOVE OR CUT THEM WITHOUT WRITTEN PERMISSION FROM DCR. THE CONTRACTOR SHALL PROTECT MONUMENTS AND MARKERS AT ALL TIMES.
3. THE CONTRACTOR SHALL NOT POLLUTE WATERWAYS. THE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS CONCERNING POLLUTION OF RIVERS AND STREAMS. THE CONTRACTOR SHALL PERFORM WORK UNDER THIS CONTRACT IN SUCH A MANNER THAT OBJECTIONABLE CONDITIONS WILL NOT BE CREATED ON OR ADJACENT TO PROJECT SITE AREAS.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS AREAS AND OTHER WORK AREAS WITHIN OR BEYOND THE PROJECT SITE BOUNDARIES FREE FROM DUST WHICH WOULD CAUSE A HAZARD OR NUISANCE TO OTHERS. THE CONTRACTOR SHALL PERFORM DUST CONTROL AS THE WORK PROCEEDS AND WHENEVER A NUISANCE OR HAZARD OCCURS.
5. THE CONTRACTOR SHALL PROVIDE METHODS DURING DEWATERING OPERATIONS TO CONTROL STORMWATER RUNOFF SO THAT SILT OR DEBRIS IS NOT ALLOW TO ENTER EXISTING DRAINAGE FACILITIES OR CREATE NUISANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING EXISTING OR NEW FACILITIES IF SILTATION OCCURS DUE TO THE CONTRACTOR'S OPERATIONS.
6. THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION SIGNS UPON PROJECT COMPLETION.
7. THE CONTRACTOR SHALL MAINTAIN FACILITIES CONSTRUCTED, AS APPLICABLE, FOR POLLUTION CONTROL AS LONG AS THE OPERATIONS CREATING THE PARTICULAR POLLUTANT ARE BEING CARRIED OUT, OR UNTIL THE MATERIAL CONCERNED HAS BECOME STABILIZED TO THE EXTENT THAT POLLUTION IS NO LONGER CREATED.
8. THE CONTRACTOR SHALL SCHEDULE AND EXECUTE WORK SO AS TO MINIMIZE DISTURBANCE OF PUBLIC ROADWAY TRAFFIC.
9. THE CONTRACTOR SHALL OBTAIN ANY CONSTRUCTION-SPECIFIC PERMITS AND AUTHORIZATIONS REQUIRED FOR THE WORK, PRIOR TO INITIATING CONSTRUCTION ACTIVITIES.

EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL MEASURES, AS SHOWN ON DRAWINGS, PRIOR TO START OF CONSTRUCTION OR AS DIRECTED BY ENGINEER. THE CONTRACTOR SHALL INSPECT AND MAINTAIN THESE MEASURES ON A CONTINUAL BASIS THROUGHOUT CONSTRUCTION AND UNTIL THE PROJECT SITE IS RESTORED AND BECOMES STABILIZED.
2. CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN MASSACHUSETTS.
3. THE CONTRACTOR SHALL PROTECT ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE SUBJECT TO EROSION (EITHER NEWLY FILLED OR EXCAVATED), ALL AREAS USED FOR CONTRACTOR STAGING AND ALL TEMPORARY SOIL STOCKPILE AREAS WITH APPROPRIATE EROSION CONTROL MEASURES.
4. EROSION AND SEDIMENT CONTROLS WILL BE REVIEWED BY A QUALIFIED PERSON EMPLOYED BY DCR ONCE EVERY 7 DAYS AND AFTER STORM EVENTS LARGER THAN 0.5 INCHES OF RAIN IN 24-HOURS. THE CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING OR ADDING EROSION AND SEDIMENT CONTROL MEASURES AS DIRECTED BY THE DCR'S REPRESENTATIVE.
5. THE CONTRACTOR SHALL EXCAVATE SEDIMENT TRAPPED BEHIND THE BARRIERS IN ACCORDANCE WITH THE DRAWINGS. REMOVED SEDIMENT SHALL BE REUSED ON SITE OUTSIDE OF THE FLOOD HAZARD AREA AND AS DIRECTED BY ENGINEER.
6. EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL THE SEEDED AREA BECOMES AT LEAST 75% ESTABLISHED. THE CONTRACTOR SHALL REMOVE THESE CONTROLS AS DESCRIBED IN THE DRAWINGS.
7. THE CONTRACTOR SHALL APPLY MAINTENANCE MEASURES AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, THE CONTRACTOR SHALL VISUALLY INSPECT ALL INSTALLED EROSION CONTROL MEASURES AND REPAIR THOSE NECESSARY TO ENSURE THEIR CONTINUING FUNCTION AS DESIGNED. FOLLOWING THE FINAL PLANTING (IF PLANTINGS ARE REQUIRED IN DRAWINGS), THE CONTRACTOR SHALL INSPECT THE SITE EVERY THIRTY DAYS UNTIL THE PLANTS HAVE BEEN 95% ESTABLISHED. IF EROSION OCCURS BEFORE THE PLANTING HAS BECOME ESTABLISHED OR IF THERE ARE AREAS WHERE GROWTH IS INSUFFICIENT, THE CONTRACTOR SHALL REPLANT THESE AREAS AS REQUIRED, AND MAKE FOLLOW-UP INSPECTIONS.
8. FINAL PLANTING/SEEDING OF THE DISTURBED AREAS SHALL OCCUR FROM APRIL 15 AND JUNE 1 AND SEPTEMBER 15 AND OCTOBER 15. IF FINAL PLANTING OF THE DISTURBED AREAS IS NOT COMPLETED DURING THIS PERIOD, THE CONTRACTOR SHALL GRADE AND SMOOTH THESE AREAS AND PLANT THEM WITH TEMPORARY SEEDING IN ACCORDANCE WITH MASSACHUSETTS GUIDELINES OR AS DIRECTED BY DCR. FINAL PLANTING SHALL BE COMPLETED IN THE FOLLOWING PLANTING SEASON.
9. THE CONTRACTOR SHALL PERFORM STREET SWEEPING ON PUBLIC ROADWAYS AND PARKING AREAS AS DIRECTED BY DCR.

INVASIVE SPECIES CONTROL:

1. FOR A LIST OF INVASIVE AND OTHER UNACCEPTABLE PLANT SPECIES REFER TO THE MASSACHUSETTS INVASIVE PLANT ADVISORY GROUP (MPAG) EVALUATION OF NON-NATIVE PLANT SPECIES FOR INVASIVENESS IN MASSACHUSETTS (APRIL 1, 2005). PLANT MATERIALS LISTED AS AN INVASIVE SPECIES OR UNACCEPTABLE PLANT SPECIES SHALL NOT BE USED ON THE PROJECT.
2. SOIL MATERIAL BROUGHT TO THE SITE SHALL NOT BE FROM SOURCES KNOWN TO CONTAIN INVASIVE SPECIES.
3. SOIL EXCAVATED AND REMOVED THAT CONTAINS INVASIVE PLANT SEEDS OR FRAGMENTS SHOULD BE TREATED AS CONTAMINATED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF THIS MATERIAL.

GENERAL NOTES:

1. CONSTRUCTION DRAWINGS (DRAWINGS) ARE ONLY A COMPONENT OF THE CONTRACT DOCUMENTS FOR THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL FEDERAL, STATE, LOCAL AND OSHA REQUIREMENTS.

2. DRAWINGS, AS PRESENTED, REPRESENT BOTH CURRENT AND PROPOSED CONDITIONS. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE SITE FEATURES AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF SITE CONDITIONS PRIOR TO THE START OF WORK.
3. CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH FIELD CONDITIONS, ASCERTAIN THAT ALL DETAILS RELATIVE TO THE LOCATION AND INSTALLATIONS OF THE WORK ARE AS FEASIBLE, ANY ERRORS, OMISSIONS OR DISCREPANCIES IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO WORK FOR RESOLUTION.
4. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DO NOT EXIST WITHIN AND AROUND THE WORK AREA. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR START PRIOR TO VERIFYING UNDERGROUND UTILITIES LOCATIONS AT THE SITE.
5. THE WORK SHALL BE PERFORMED IN SUCH A MANNER THAT UNDERGROUND/OVERHEAD UTILITIES OR STRUCTURES ARE NOT DAMAGED BY THE CONTRACTOR'S ACTIVITIES. THE CONTRACTOR SHALL IMMEDIATELY REPAIR EXISTING UTILITIES OR STRUCTURES DAMAGED BY CONTRACTOR DURING WORK AT NO COST TO THE OWNER OR ENGINEER.
6. THE CONTRACTOR SHALL COMPLY WITH THE CONDITIONS OF ALL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT.
7. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION RELATED ACTIVITIES WITH THE DCR.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL BENCHMARKS, HORIZONTAL AND VERTICAL DATUM, AND LOCATIONS OF UTILITIES, AND OTHER EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION ACTIVITIES.
9. LOCATION OF ALL EXISTING UTILITIES AND SUBSURFACE STRUCTURES ARE CONSIDERED APPROXIMATE AS TO BOTH SIZE AND LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE VARIOUS AVAILABLE RECORDS AND UTILITY COMPANIES AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 1-888-344-7233 AT LEAST 3 DAYS IN ADVANCE BUT NOT MORE THAN 10 DAYS PRIOR TO INITIATING CONSTRUCTION.
10. THE CONTRACTOR SHALL NOTIFY THE TOWN OF HAMILTON TO MARK ALL CITY/TOWN-OWNED WATER, SEWER, AND DRAINAGE UTILITIES PRIOR TO PERFORMING ANY INTRUSIVE ACTIVITIES.
11. DRAINAGE ELEVATIONS ARE PROVIDED FOR DESIGN PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY, BY TEST PIT/POST HOLING, THE LOCATIONS OF EXISTING UTILITIES WHICH MAY CONFLICT WITH THE PROPOSED DRAINAGE DESIGN. ANY FIELD ADJUSTMENTS REQUIRED WILL BE MADE AS APPROVED OR DIRECTED BY THE ENGINEER. ONLY AFTER THE CONTRACTOR VERIFIES ELEVATIONS FOR THE CONSTRUCTABILITY OF THE DRAINAGE SYSTEM SHALL ANY STRUCTURES, PIPING, AND APPURTENANCES BE ORDERED.
12. IF THE CONTRACTOR DAMAGES UTILITY SERVICES, HE SHALL IMMEDIATELY NOTIFY THE RESPECTIVE UTILITY COMPANY AND SHALL IMMEDIATELY REPLACE OR REPAIR, UNLESS INDICATED OTHERWISE BY THE RESPECTIVE UTILITY OWNER.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE COST OF ANY TEMPORARY UTILITIES REQUIRED TO FACILITATE CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: ELECTRICITY, SANITARY FACILITIES, WATER, COMMUNICATIONS, INTERNET, ETC.
14. THE CONTRACTOR SHALL PROVIDE ROADSIDE TREE PROTECTION OR INDIVIDUAL TREE PROTECTION ALONG THE LIMITS OF WORK TO PROTECT EXISTING STANDS OF QUALITY VEGETATION FROM CONSTRUCTION ACTIVITIES AND FROM EQUIPMENT AND MATERIALS BEING STORED ADJACENT TO TREE TRUNKS. DCR SHALL REVIEW TREE PROTECTION AND FENCING PRIOR TO START OF ANY MOBILIZATION OR CONSTRUCTION ACTIVITIES.
15. THERE SHALL BE NO TAKING OF TREE OR SHRUBBERY UNLESS EXPRESSLY WRITTEN APPROVAL BY DCR. IT IS DCR'S INTENT TO PRESERVE VEGETATION AND TREES TO THE MAXIMUM EXTENT POSSIBLE.
16. WORK ACTIVITIES SHALL BE CONDUCTED BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY UNLESS OTHERWISE AUTHORIZED BY DCR.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE WORK AREA BOTH DURING AND AFTER THE HOURS OF CONSTRUCTION AND UNTIL THE SITE IS RESTORED. SECURITY MEASURES MAY INCLUDE TEMPORARY CONSTRUCTION FENCING, SIGNS AND, IF NECESSARY, BARRICADES TO LIMIT SITE ACCESS. ADDITIONAL MEASURES MAY BE INSTALLED AT THE DIRECTION OF DCR AND/OR ENGINEER IN ORDER TO ENSURE A SAFE WORKING ENVIRONMENT.
18. ALL EXISTING TOPOGRAPHY WITHIN THE CONSTRUCTION LIMITS SHALL BE RETAINED UNLESS OTHERWISE INDICATED OR DIRECTED BY THE ENGINEER.
19. AREAS OUTSIDE THE LIMIT OF WORK DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
20. NO EXISTING PUBLIC UTILITY STRUCTURES SHALL BE ABANDONED AND/OR DISMANTLED WITHOUT AUTHORIZATION FROM THE UTILITY OWNER AND THE ENGINEER.
21. DAMAGE OF PROPERTY BEYOND THE LIMITS OF WORK CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE, SUBJECT TO THE APPROVAL OF THE ENGINEER AND ACCEPTANCE OF THE PROPERTY OWNER.
22. THE LOCATIONS OF PROPOSED PIPELINES, STRUCTURES AND UTILITY RELOCATIONS MAY BE MODIFIED TO SUIT FIELD CONDITIONS AT THE DISCRETION OF THE ENGINEER. OFFSETS TO DRAINAGE STRUCTURES ARE TO THE CENTER OF THE FRAME OR GRATE. INVERT ELEVATIONS MAY BE SUBJECT TO FIELD ADJUSTMENTS AS DIRECTED BY THE ENGINEER.
23. SAFETY CONTROLS FOR CONSTRUCTION OPERATIONS SHALL BE IN ACCORDANCE WITH MASSDOT REQUIREMENTS, THE 2009 MUTCD AS AMENDED.
24. ALL EXISTING DRAINAGE STRUCTURES AND PIPE TO REMAIN IN PLACE SHALL BE CLEANED AND SEDIMENTS DISPOSED OF.
25. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RESEDED PRIOR TO THE END OF THE PROJECT.
26. IF DURING THE WORK, THE PRESENCE OF POTENTIALLY HAZARDOUS MATERIALS OR CONDITIONS IS EVIDENT, WORK IN THE AREA SHALL BE SUSPENDED, WITH IMMEDIATE NOTIFICATION TO DCR. THESE CONDITIONS INCLUDE, BUT ARE NOT LIMITED TO, ENCOUNTERING BURIED CONTAINERS, DRUMS, OR TANKS. THE AREA WILL BE SECURED TO PREVENT THE EXISTENCE OF A HEALTH RISK OR RELEASE INTO THE ENVIRONMENT. THE SOURCES OF THE EVENT CAUSING THE MATERIAL TO BE CONSIDERED SUSPECT WILL BE EVALUATED BY DCR. IN THE EVENT THAT BURIED CONTAINERS, DRUMS, OR TANKS ARE ENCOUNTERED OR IF A RELEASE OF OIL OR POTENTIALLY HAZARDOUS MATERIALS HAS OCCURRED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER, DCR, AND MASSDEP INCIDENT RESPONSE WITHIN THE REQUIRED REPORTING TIME PERIOD. THE REMOVAL OF BURIED TANKS, CONTAINERS, OR DRUMS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF 520 CMR 9.00 TANKS AND CONTAINERS.
27. FUEL, OIL, PAINT OR ANY OTHER HAZARDOUS MATERIALS SHALL BE STORED IN A SECONDARY CONTAINMENT AREA. CONTRACTOR SHALL SECURE, IN A LOCKED AREA, SAID MATERIALS DURING NON-WORK HOURS. CONTRACTOR SHALL PROVIDE MATERIAL SDS TO ENGINEER PRIOR TO MOBILIZING. CONTRACTOR SHALL ABIDE BY LOCAL, STATE, AND FEDERAL REGULATIONS FOR STORAGE OF MATERIALS AND ACQUIRE PERMITS AND APPROVALS FOR STORAGE OF MATERIALS.
28. A SUPPLY OF ABSORBENT SPILL RESPONSE MATERIAL SUCH AS BOOMS OR BLANKETS SHALL BE MADE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES TO CLEAN UP POTENTIAL SPILLS OF HAZARDOUS MATERIALS SUCH AS GASOLINE AND OIL.
29. SPILLS OF HAZARDOUS MATERIALS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER, OWNER AND MA DEP:

MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION (MA DEP)  
OIL AND CHEMICAL SPILLS UNIT  
1-978-887-5148 (LOCAL FIRE DEPARTMENT)  
THEN  
1-888-304-1133 (MA DEP)

DIG SAFE  
1-888-468-5560 OR 811

31. THE CONTRACTOR IS RESPONSIBLE FOR SECURING SITE AT THE END OF EACH CONSTRUCTION DAY.
32. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ON-SITE MANAGEMENT AND THE OFF-SITE TRANSPORT AND DISPOSAL OF ALL WASTES GENERATED DURING THE PROJECT IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
33. THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY WORK WITH THE RESPECTIVE UTILITY OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION AND COSTS ASSOCIATED WITH THE CUSTOMER OWNED SERVICES AND FOR ALL UTILITY WORK MADE FOR THE CONTRACTOR'S CONVENIENCE, INCLUDING TEMPORARY UTILITY RELOCATION(S) AND/OR RECONNECTION(S).
34. REMOVAL AND REPLACEMENT OF GUARDRAIL SECTIONS AND POSTS AND BOULDERS SHALL BE CONSIDERED INCIDENTAL TO WORK AND NO ADDITIONAL FUNDING WILL BE AWARDED FOR SUCH WORK.

35. ALL WORK SHALL BE IN ACCORDANCE WITH MOST CURRENT VERSION OF MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
36. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK INCLUDED IN THE CONTRACT DOCUMENTS.
37. THE CONTRACTOR IS RESPONSIBLE FOR SECURING EXCAVATION, EXCAVATION SLOPE STABILITY AND FALL HAZARDS ASSOCIATED WITH WORK.
38. THE CONTRACTOR SHALL RECEIVE, IN WRITING FROM DCR, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
39. DIMENSION CALL-OUTS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON THE DRAWINGS.
40. THE CONTRACTOR SHALL MAINTAIN HAND DRAWN RED LINES, FIELD NOTES, AND PHOTOGRAPHS ("FIELD DOCUMENTATION") OF ALL IMPROVEMENTS OR VARIATIONS AS THE WORK PROGRESSES. THE CONTRACTOR'S FIELD DOCUMENTATION SHALL BE MAINTAINED ON-SITE AND SHALL BE AVAILABLE FOR REVIEW BY THE ENGINEER AT ALL TIMES.
41. THE PROJECT WORK SHALL BE CONSTRUCTED TO MEET ALL PROVISIONS OF APPLICABLE PERMITS
42. THE CONTRACTOR SHALL KEEP THE WORK AREAS IN A CLEAN AND NEAT CONDITION AND FREE OF DEBRIS AND CLUTTER FOR THE DURATION OF THE PROJECT.

PERMITS/APPROVALS

1. ALL FEES ASSOCIATED WITH APPLYING FOR AND OBTAINING PERMITS, NOT OBTAINED BY OTHERS, TO COMPLETE REMEDIATION WORK WILL BE MADE AT THE EXPENSE OF THE CONTRACTOR. COMPLIANCE WITH ALL PROJECT PERMIT CONDITIONS IS THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL OBTAIN ADDITIONAL LOCAL WORK PERMITS AND APPROVALS AS REQUIRED.

TRAFFIC ROUTING

1. THE CONTRACTOR SHALL DEVELOP A TRAFFIC CONTROL PLAN FOR APPROVAL BY DCR. THE PLAN SHALL INCLUDE BUT NOT LIMITED TO TRAFFIC FLOW PATTERNS, SIGNAGE, LOCATION OF FLAGGERS/POLICE DETAIL, ESTIMATED DURATION OF ALTERED TRAFFIC PATTERN, ETC.
2. THE CONTRACTOR SHALL COORDINATE TRAFFIC FLOW FOR TRUCKING/EQUIPMENT IN SUCH A MANNER TO NOT CAUSE DAMAGE TO PAVEMENT AND AREAS ADJACENT TO PAVEMENT. ALTERNATE PEDESTRIAN TRAFFIC FLOW SHALL POSTED DURING WORK OR FLAGMAN SHALL BE PROVIDED TO DIRECT PEDESTRIAN TRAFFIC.
















SOIL/MILLING MANAGEMENT

1. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIAL IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS AT HIS OWN EXPENSE IF NOT OTHERWISE SPECIFIED
2. BACKFILL SHALL NOT BE PLACED OUTSIDE THE LIMITS OF WORK. STOCKPILED TOPSOIL SHALL BE COVERED BY PLASTIC SHEETING AND PROPERLY BALLASTED. PLASTIC SHALL BE PLACED IN SUCH A MANNER THAT RAIN WATER DOES NOT COLLECT OR FILTER THROUGH MATERIAL

ACRONYMS:

CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
CSP	CORRUGATED STEEL PIPE
CONC	CONCRETE
DI	DROP INLET
DIA	DIAMETER
ELEV (or EL.)	ELEVATION
EOP	DGE OF PAVEMENT
EXIST (or EX)	EXISTING
FES	FLARED END SECTION
GRAV	GRAVEL
GRD	GUARD
HDW	HEADWALL
INV	INVERT
MAX	MAXIMUM
MIN	MINIMUM
PROP	PROPOSED
PWW	PAVED WATER WAY
R&D	REMOVE AND DISPOSE
RCF	REINFORCED CONCRETE PIPE
REM	REMOVE
RET	RETAIN
R&R	REMOVE AND RESET
R&S	REMOVE AND STACK
SMH	SEWER MANHOLE
TEMP	TEMPORARY
TYP	TYPICAL

LEGEND:

	EDGE OF PAVEMENT
	100-YEAR FLOOD ZONE/LAND SUBJECT TO COASTAL FLOWAGE
	WETLAND
	WOODEN FENCE/GUARDRAIL
	100-FT WETLAND/STREAM BUFFER ZONE
	200-FT RIVERFRONT AREA
	PROPERTY LINE
	EXISTING MAJOR ELEVATION CONTOUR (NAVD88-FT)
	EXISTING MINOR ELEVATION CONTOUR (NAVD88-FT)
	LIMIT OF WORK
	STORMSEWER PIPE
	CATCH BASIN
	DRAIN MANHOLE
	UTILITY POLE
	LIGHT POLE



PROJECT

BRADLEY PALMER  
DRAINAGE INFRASTRUCTURE  
MAINTENANCE & REPAIRS  
MASSACHUSETTS DEPARTMENT OF  
CONSERVATION AND RECREATION  
HAMILTON, MA

CLIENT

MASSACHUSETTS DEPARTMENT  
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Chelmsford, MA 01824  
978.905.2100 tel 978.905.2101 fax  
www.aecom.com

REGISTRATION



Date: 10-29-2024

ENGINEER'S CERTIFICATION:

THE UNDERSIGNED HEREBY CERTIFIES  
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REFERENCE

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J/R	DATE	DESCRIPTION

PROJECT NUMBER

60687346

SHEET TITLE

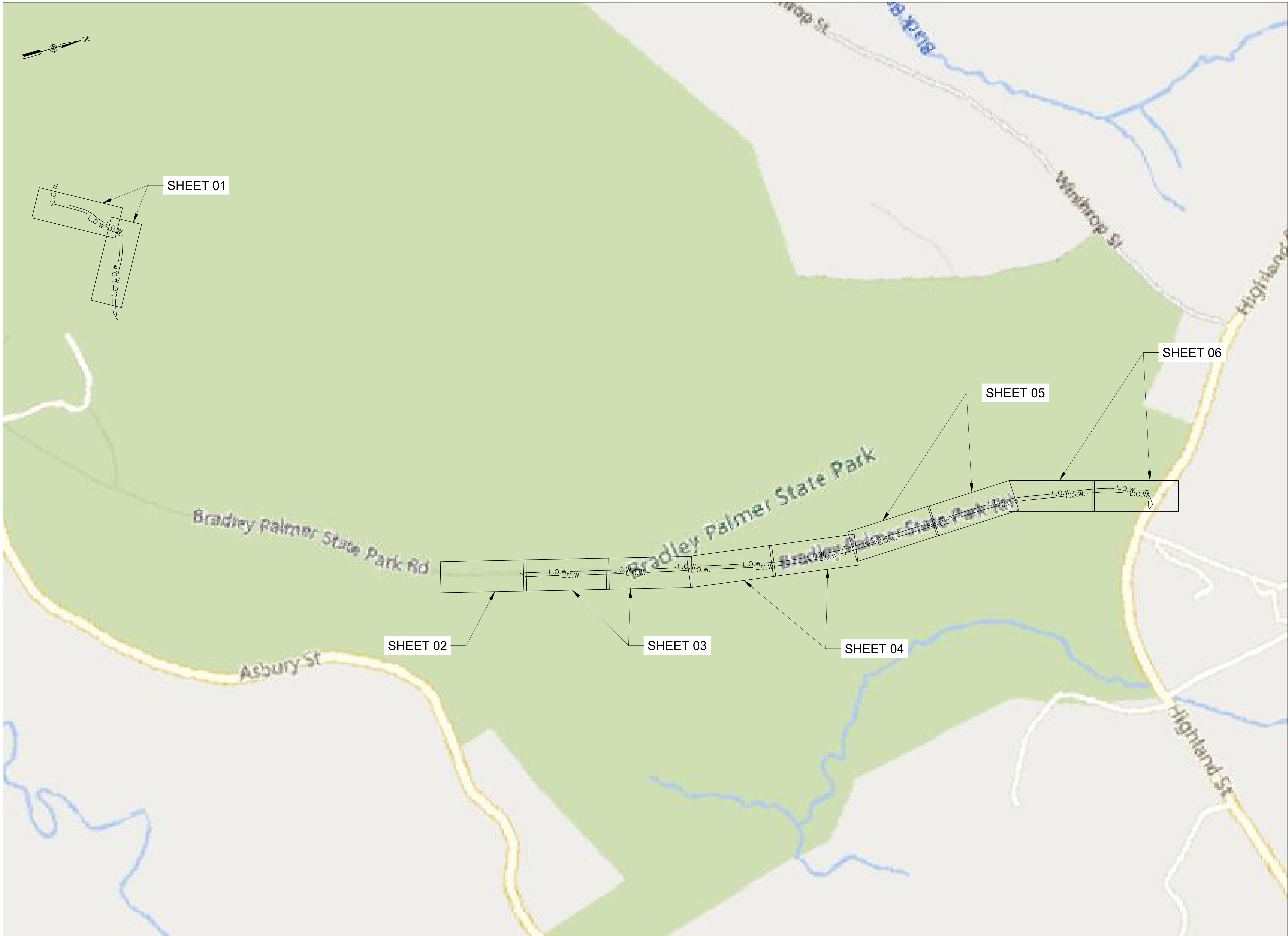
GENERAL NOTES

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GN-01



## PROJECT

BRADLEY PALMER  
DRAINAGE INFRASTRUCTURE  
MAINTENANCE & REPAIRS

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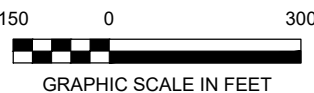


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## KEY PLAN

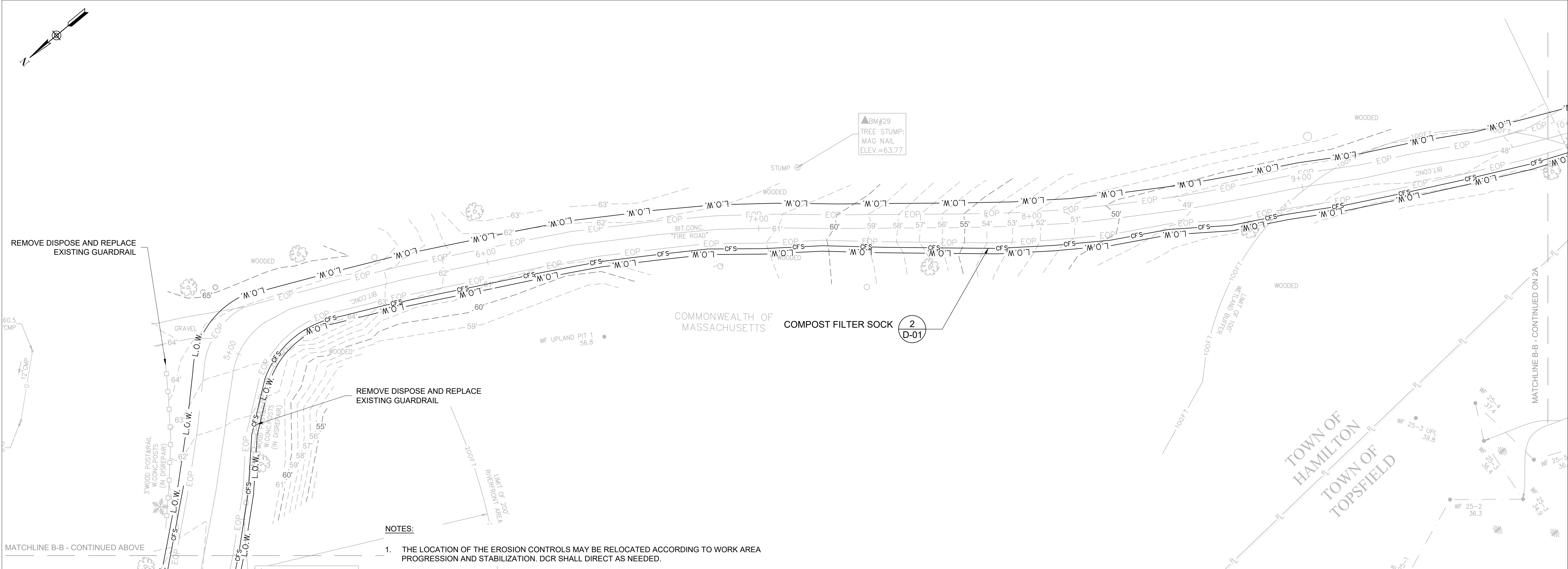
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V-01





**PROJECT**

**BRADLEY PALMER**  
**DRAINAGE INFRASTRUCTURE**  
**MAINTENANCE & REPAIRS**  
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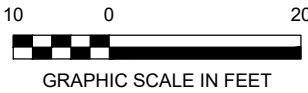


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**SHEET TITLE**

EXISTING CONDITIONS AND SITE  
PREPARATION PLAN  
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SP-01

- NOTES:**
- THE LOCATION OF THE EROSION CONTROLS MAY BE RELOCATED ACCORDING TO WORK AREA PROGRESSION AND STABILIZATION. DCR SHALL DIRECT AS NEEDED.

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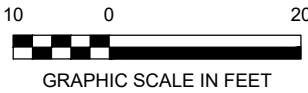


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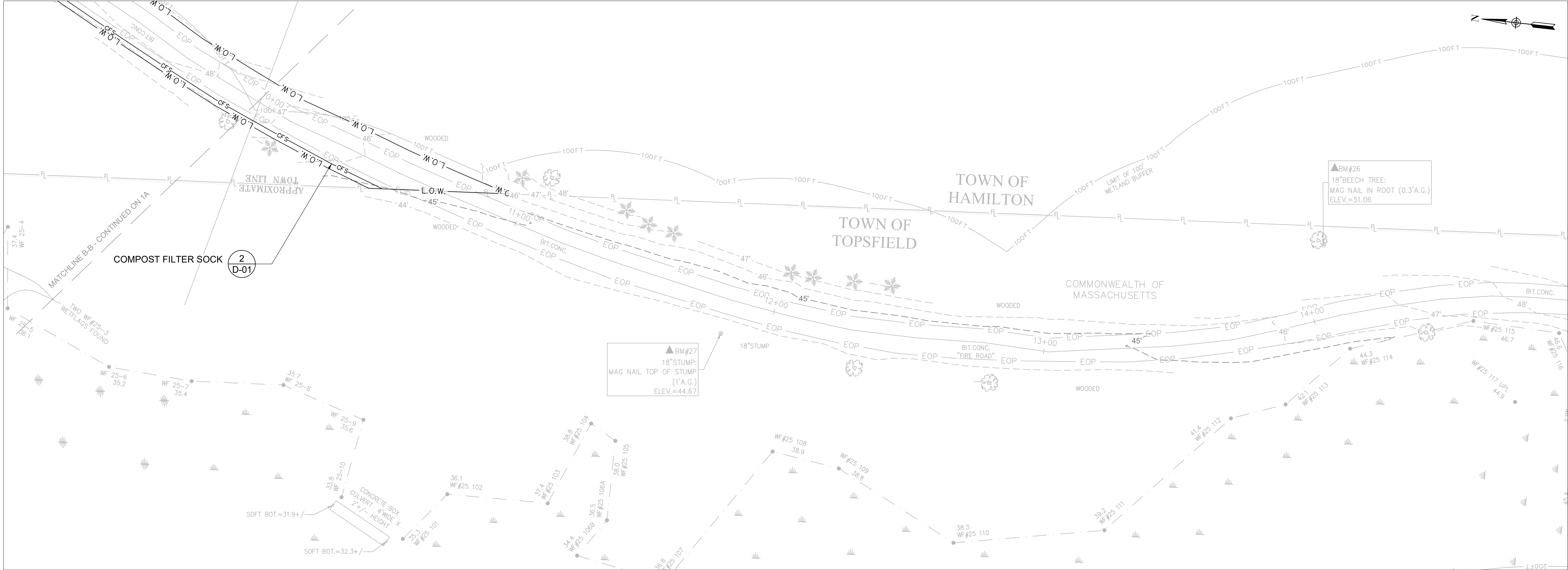
EXISTING CONDITIONS AND SITE  
PREPARATION PLAN  
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PAGE 05 OF 19

SHEET NUMBER

SP-02

NOTES:

- THE LOCATION OF THE EROSION CONTROLS MAY BE RELOCATED ACCORDING TO WORK AREA  
PROGRESSION AND STABILIZATION. DCR SHALL DIRECT AS NEEDED.





PROJECT

BRADLEY PALMER  
DRAINAGE INFRASTRUCTURE  
MAINTENANCE & REPAIRS  
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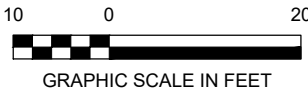


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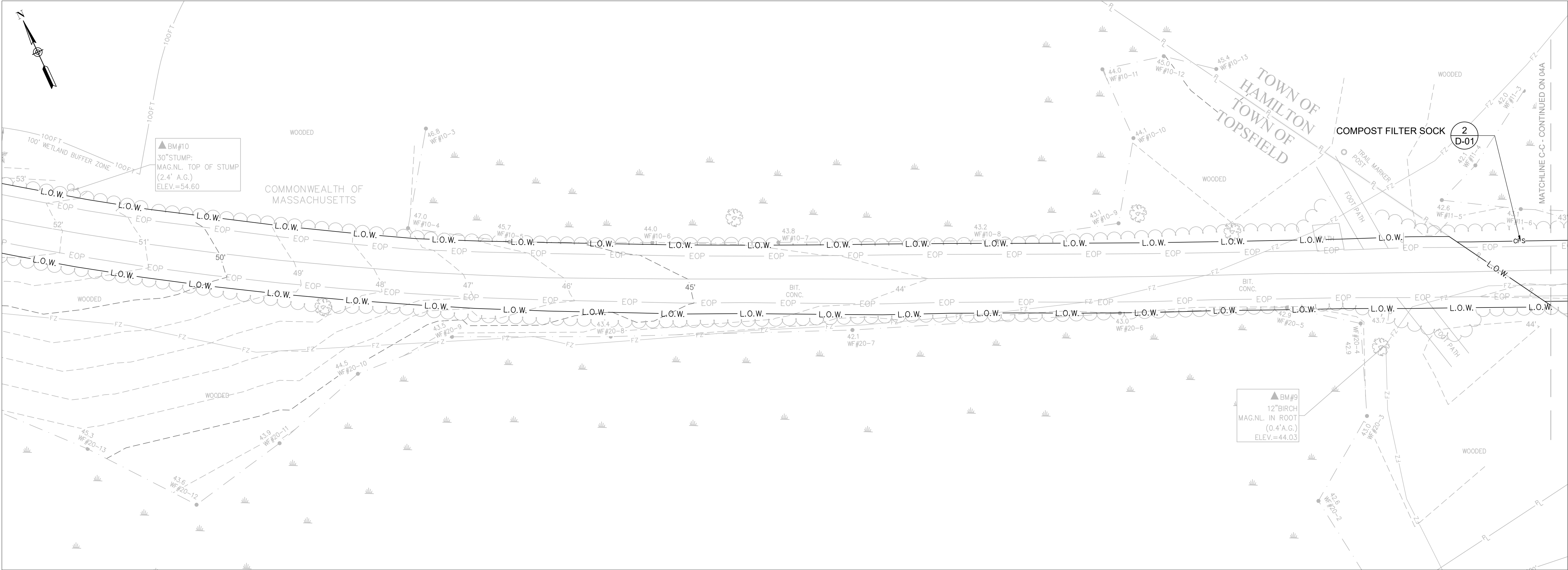
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PREPARATION PLAN  
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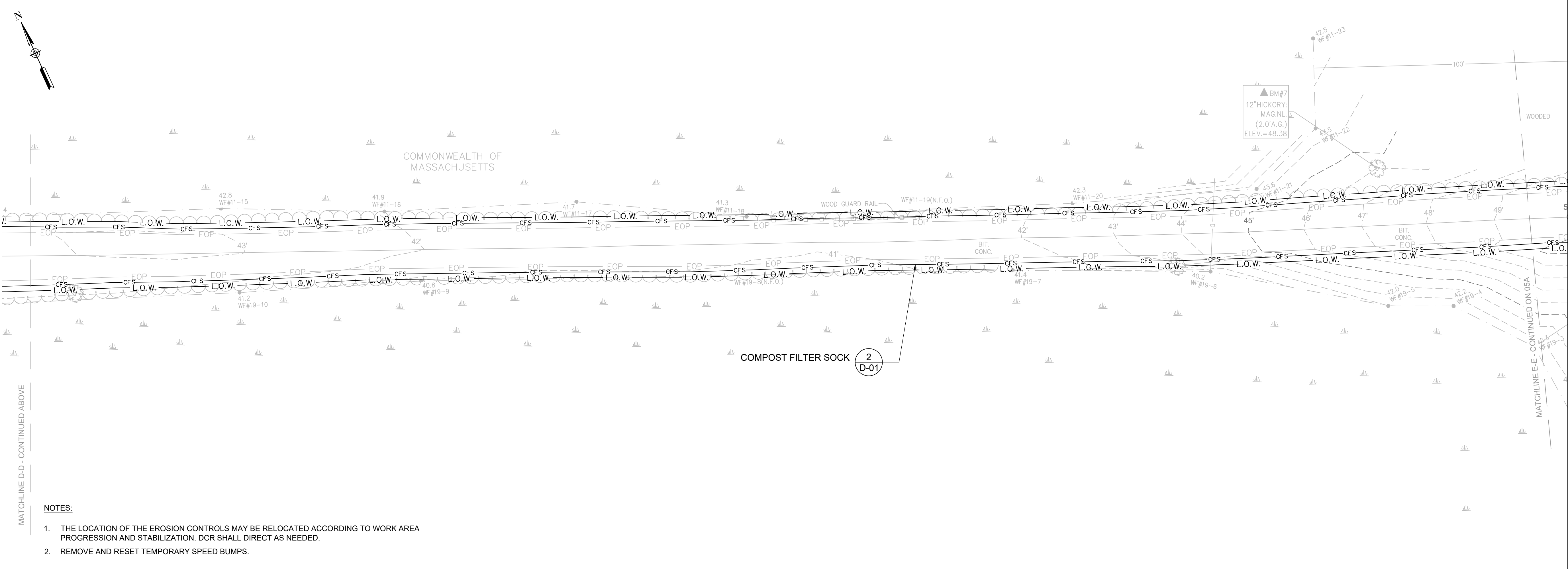
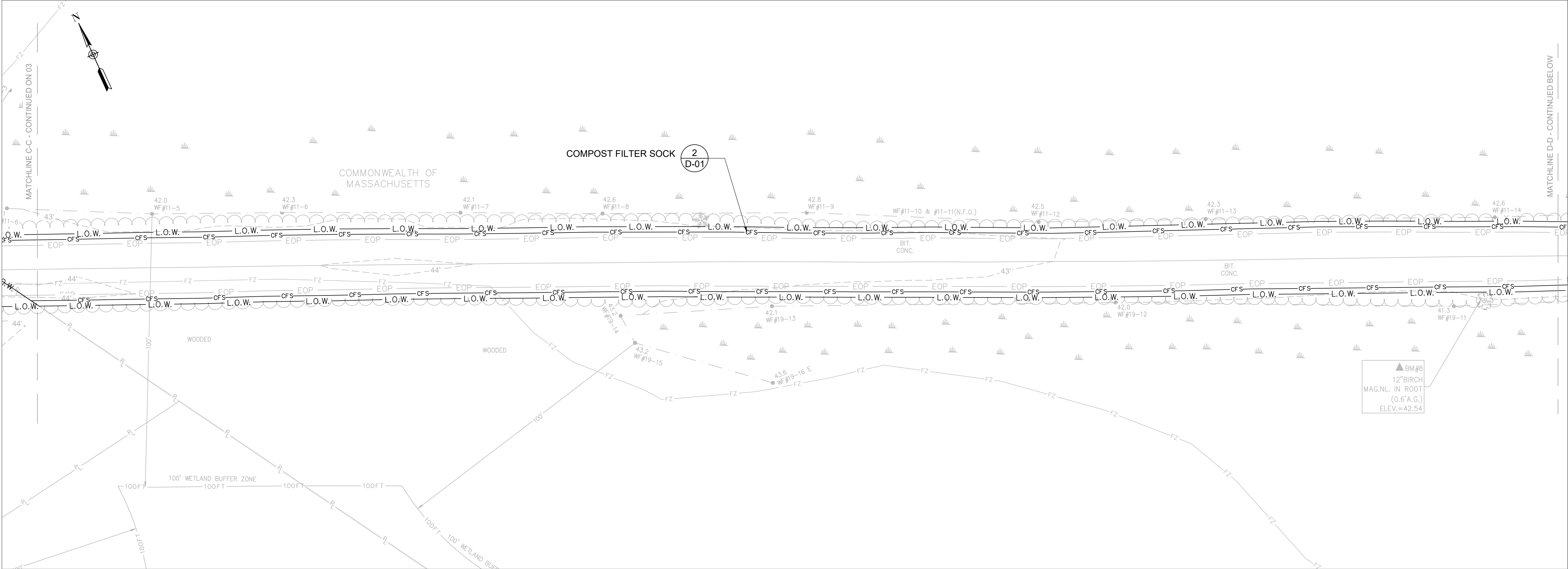
SHEET NUMBER

SP-03

NOTES:

- THE LOCATION OF THE EROSION CONTROLS MAY BE RELOCATED ACCORDING TO WORK AREA PROGRESSION AND STABILIZATION. DCR SHALL DIRECT AS NEEDED.
- REMOVE AND RESET TEMPORARY SPEED BUMPS.





- NOTES:
- THE LOCATION OF THE EROSION CONTROLS MAY BE RELOCATED ACCORDING TO WORK AREA PROGRESSION AND STABILIZATION. DCR SHALL DIRECT AS NEEDED.
  - REMOVE AND RESET TEMPORARY SPEED BUMPS.

AECOM

PROJECT

BRADLEY PALMER

DRAINAGE INFRASTRUCTURE

MAINTENANCE & REPAIRS

MASSACHUSETTS DEPARTMENT OF

CONSERVATION AND RECREATION

HAMILTON, MA

CLIENT

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CONSULTANT

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250 Apollo Drive

Chelmsford, MA 01824

978.905.2100 tel 978.905.2101 fax

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Date: 10-29-2024

ENGINEER'S CERTIFICATION:

THE UNDERSIGNED HEREBY CERTIFIES

THIS PLAN TO BE AN APPROPRIATE

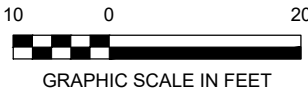
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REFERENCE



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PROJECT NUMBER

60687346

SHEET TITLE

EXISTING CONDITIONS AND SITE

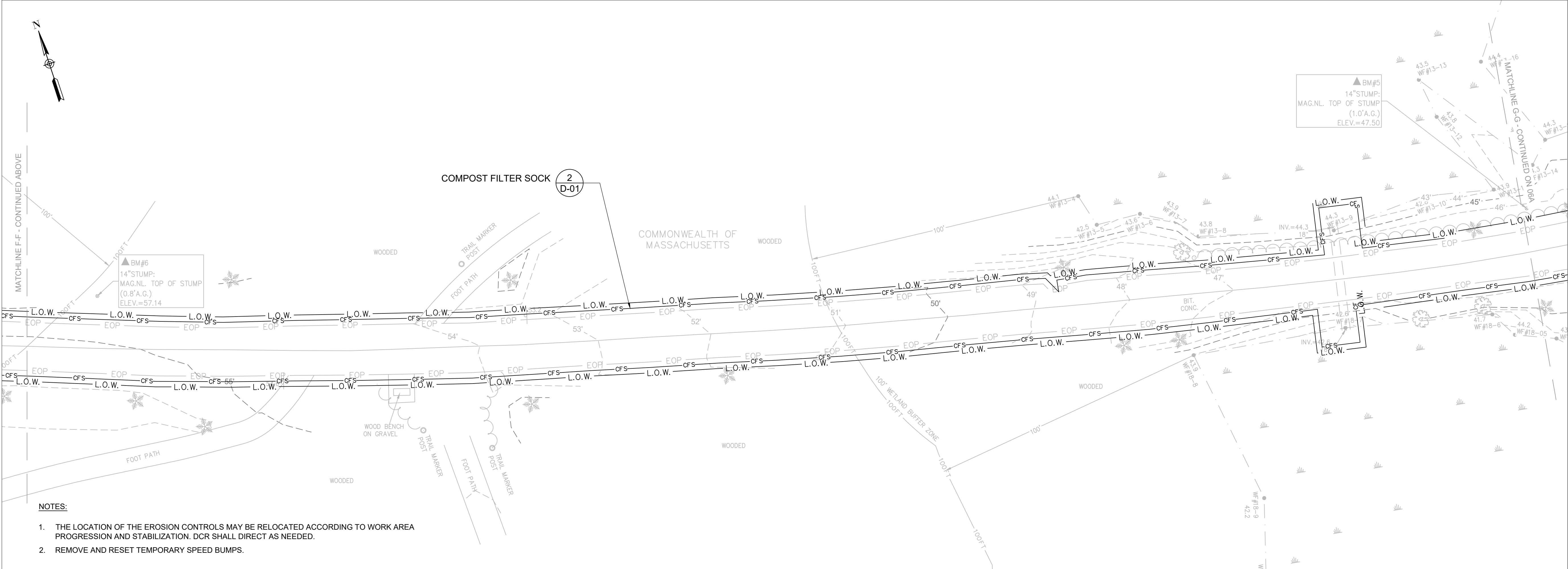
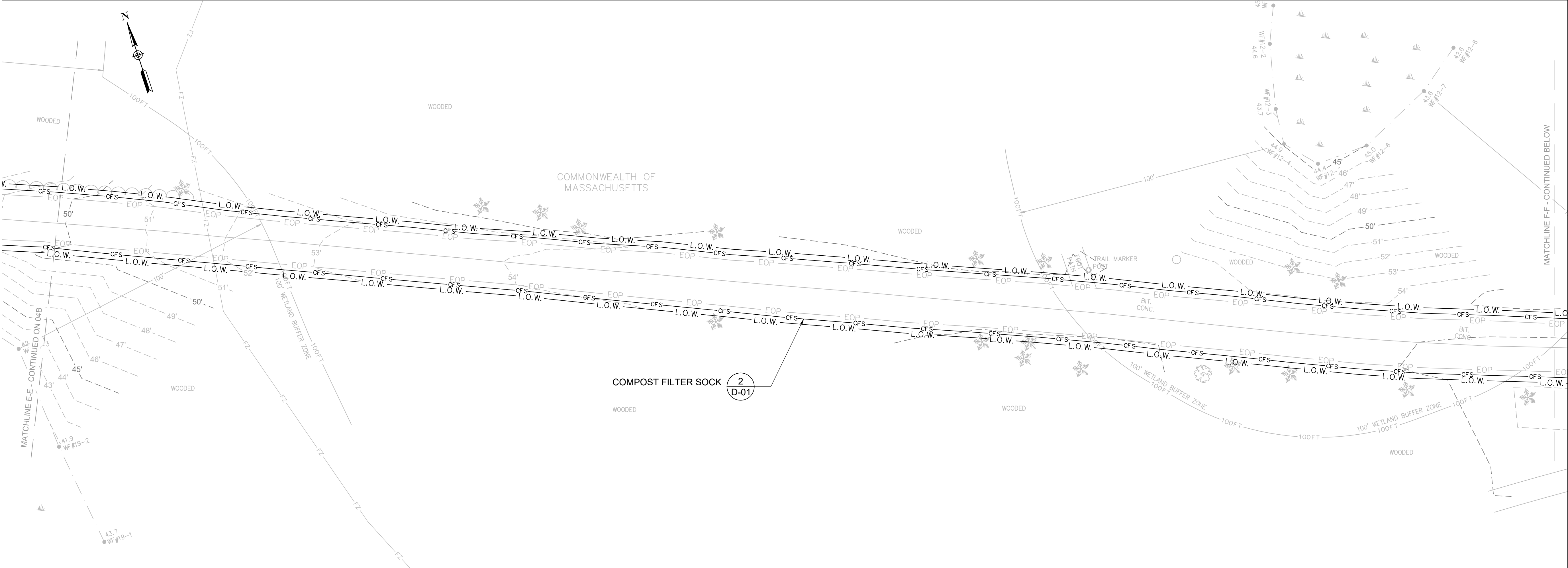
PREPARATION PLAN

SHEET 04 OF 07

PAGE 07 OF 19

SHEET NUMBER

SP-04



- NOTES:
- THE LOCATION OF THE EROSION CONTROLS MAY BE RELOCATED ACCORDING TO WORK AREA PROGRESSION AND STABILIZATION. DCR SHALL DIRECT AS NEEDED.
  - REMOVE AND RESET TEMPORARY SPEED BUMPS.

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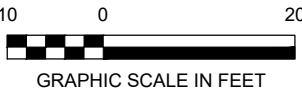


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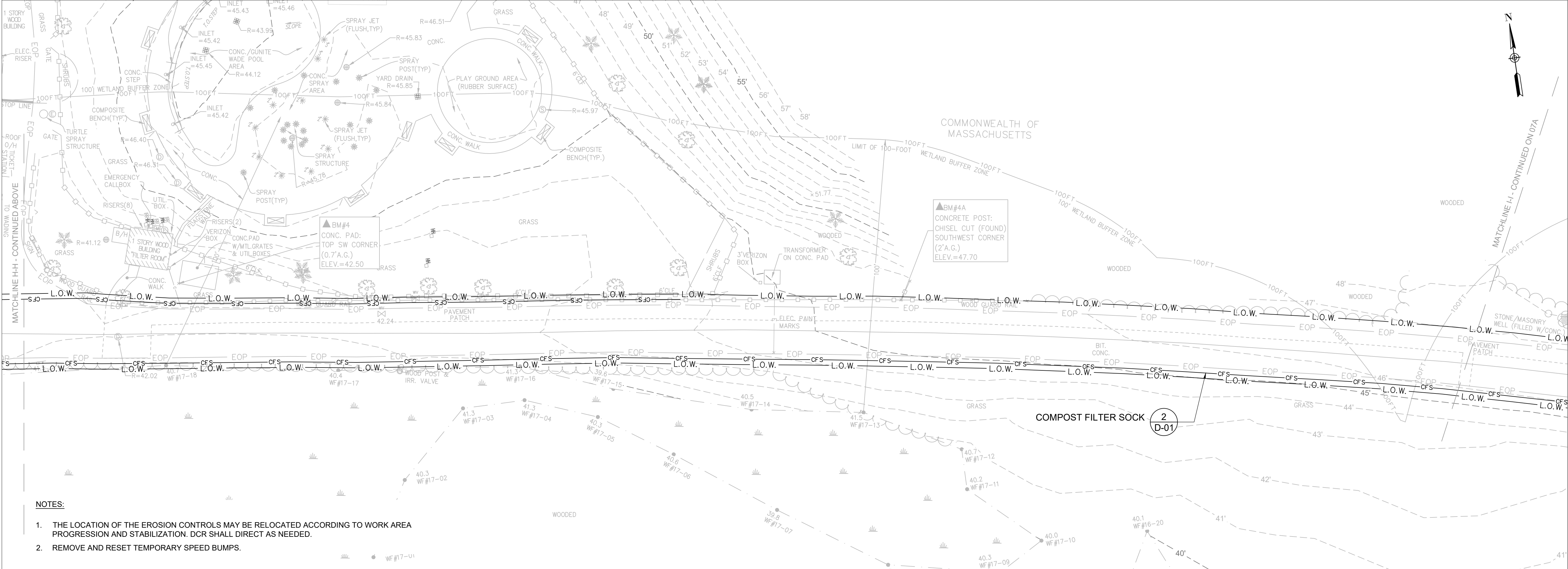
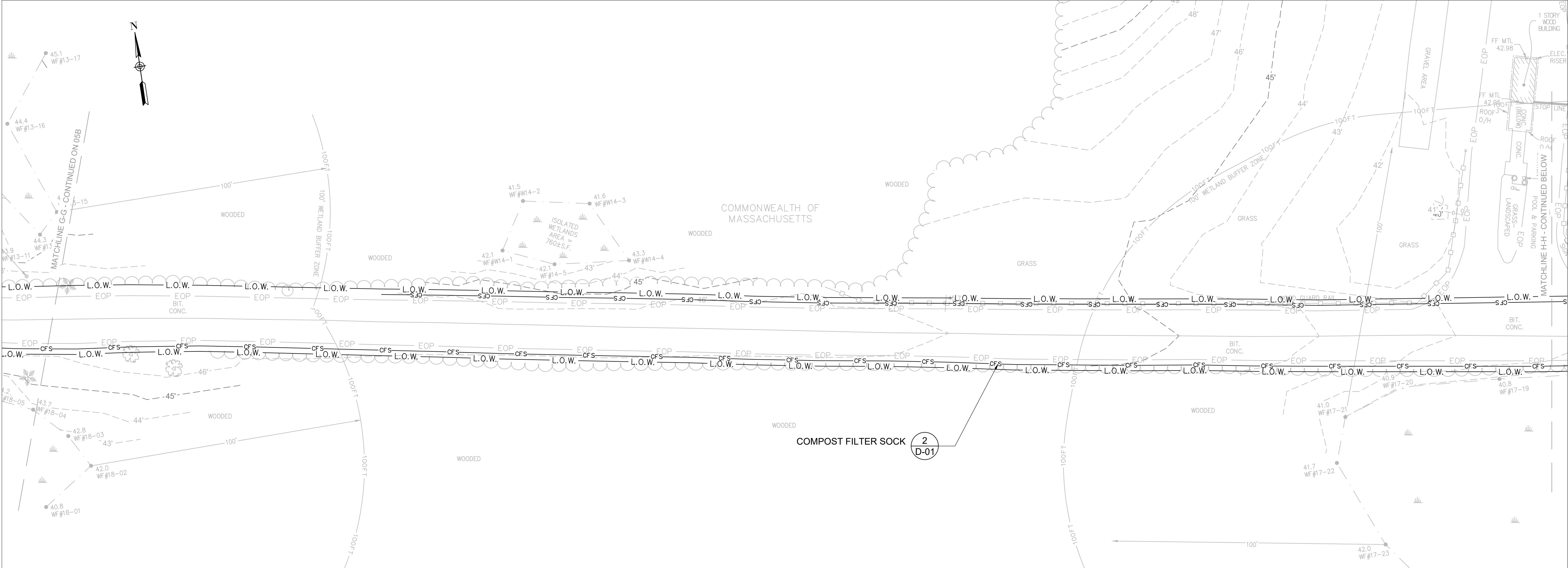
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SHEET TITLE

EXISTING CONDITIONS AND SITE  
PREPARATION PLAN  
SHEET 05 OF 07  
PAGE 08 OF 19  
SHEET NUMBER

SP-05





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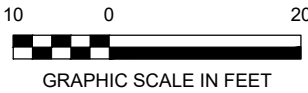


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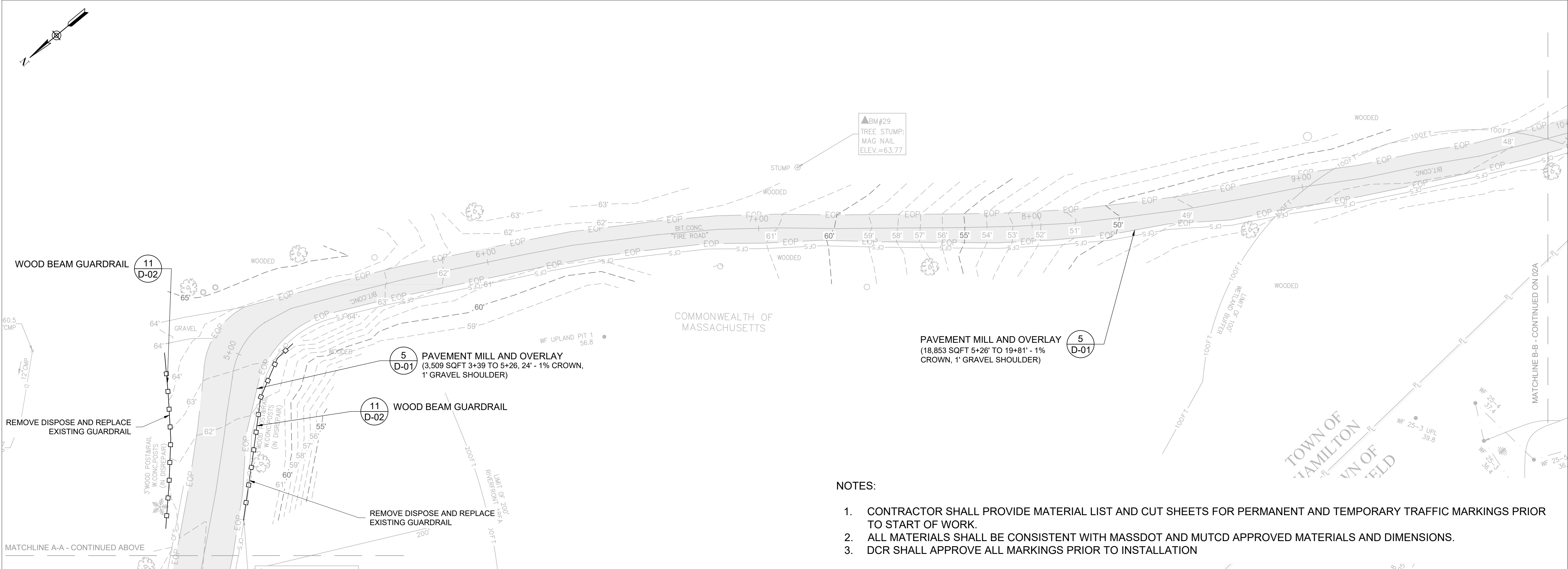
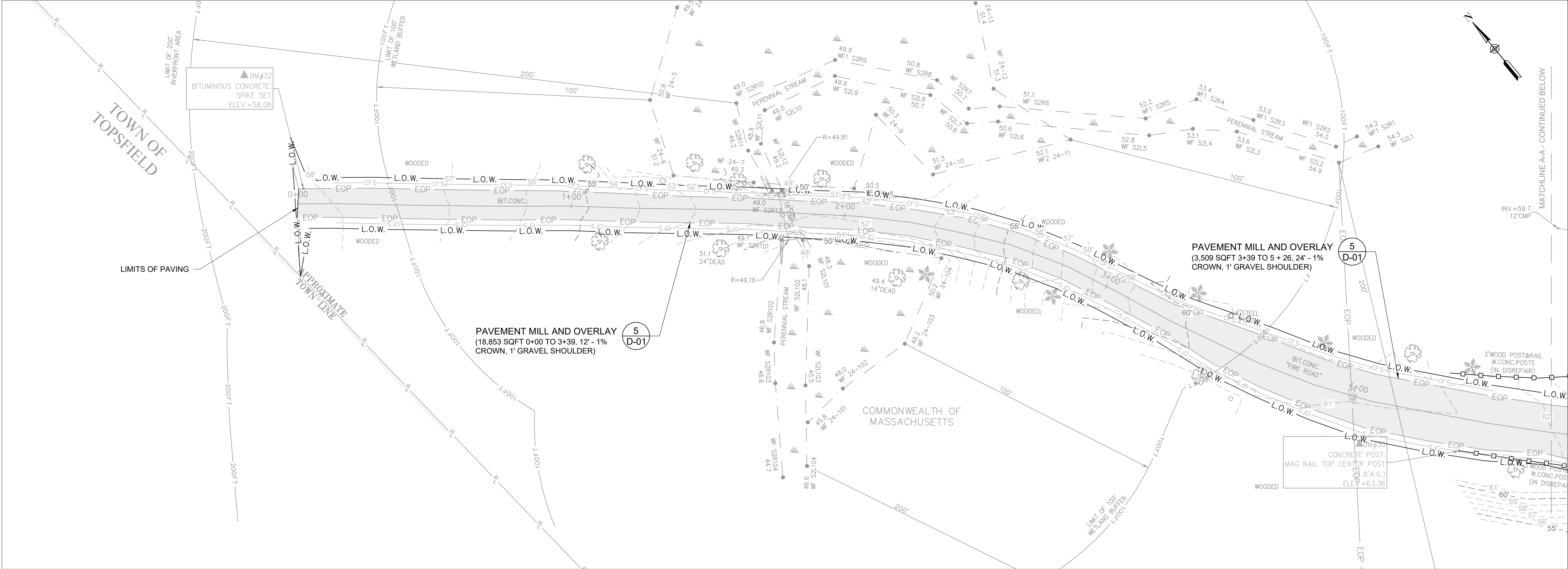
60687346

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EXISTING CONDITIONS AND SITE  
PREPARATION PLAN  
SHEET 06 OF 07  
PAGE 09 OF 19  
SHEET NUMBER

SP-06





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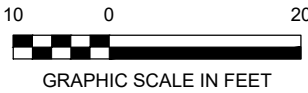


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**SHEET TITLE**

**FINAL GRADE AND**  
**RESTORATION PLAN**  
SHEET 01 OF 07  
PAGE 11 OF 19  
**SHEET NUMBER**

R-01

- NOTES:**
- CONTRACTOR SHALL PROVIDE MATERIAL LIST AND CUT SHEETS FOR PERMANENT AND TEMPORARY TRAFFIC MARKINGS PRIOR TO START OF WORK.
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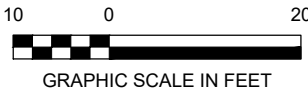


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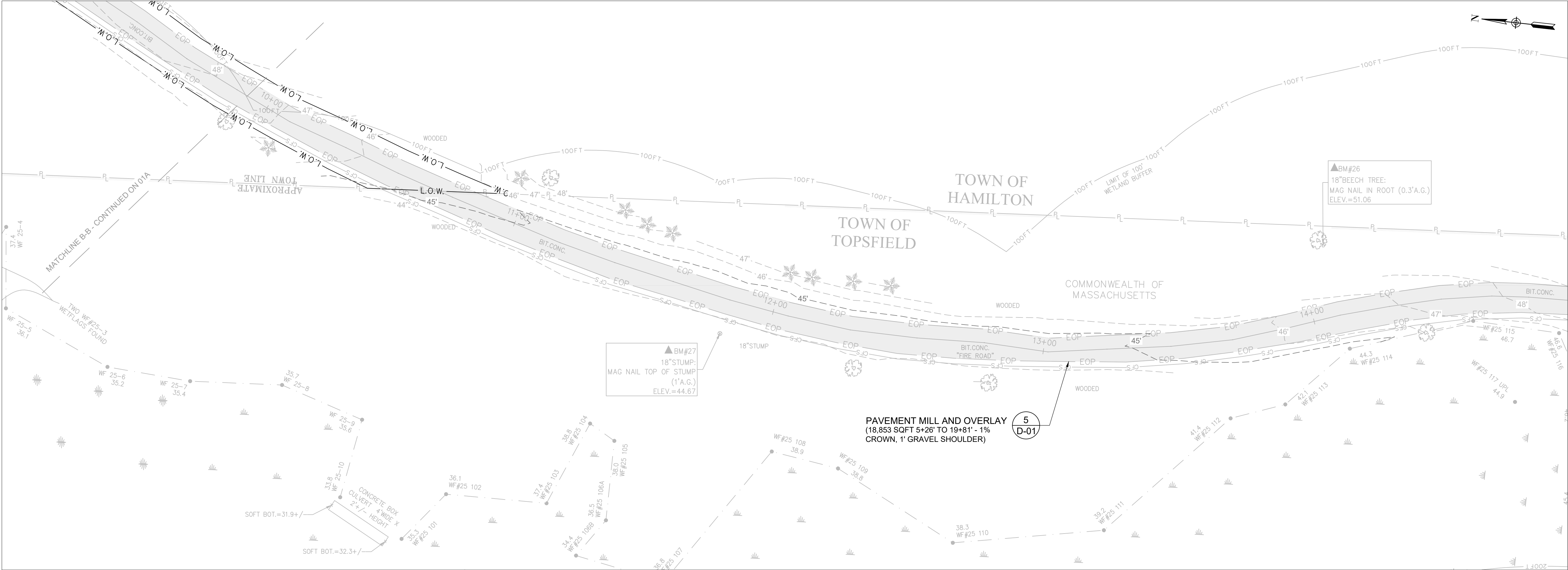
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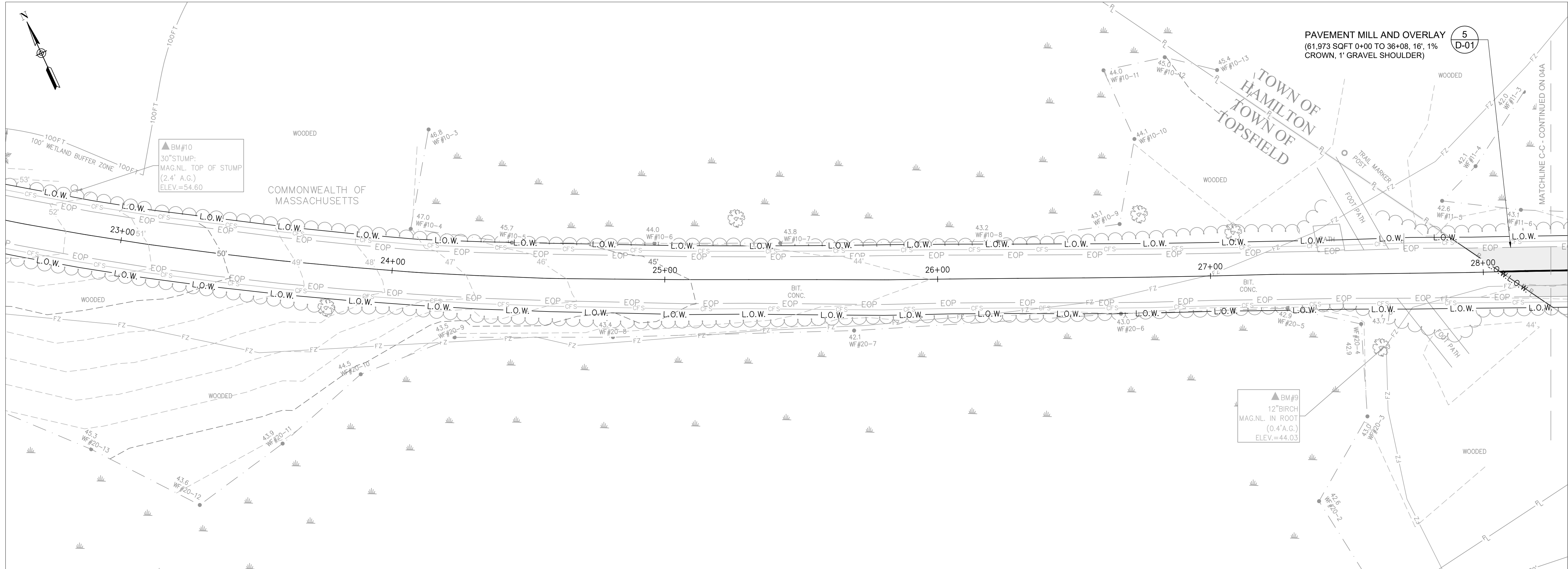
FINAL GRADE AND  
RESTORATION PLAN  
SHEET 02 OF 07  
PAGE 12 OF 19  
SHEET NUMBER

R-02



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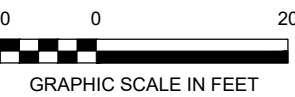


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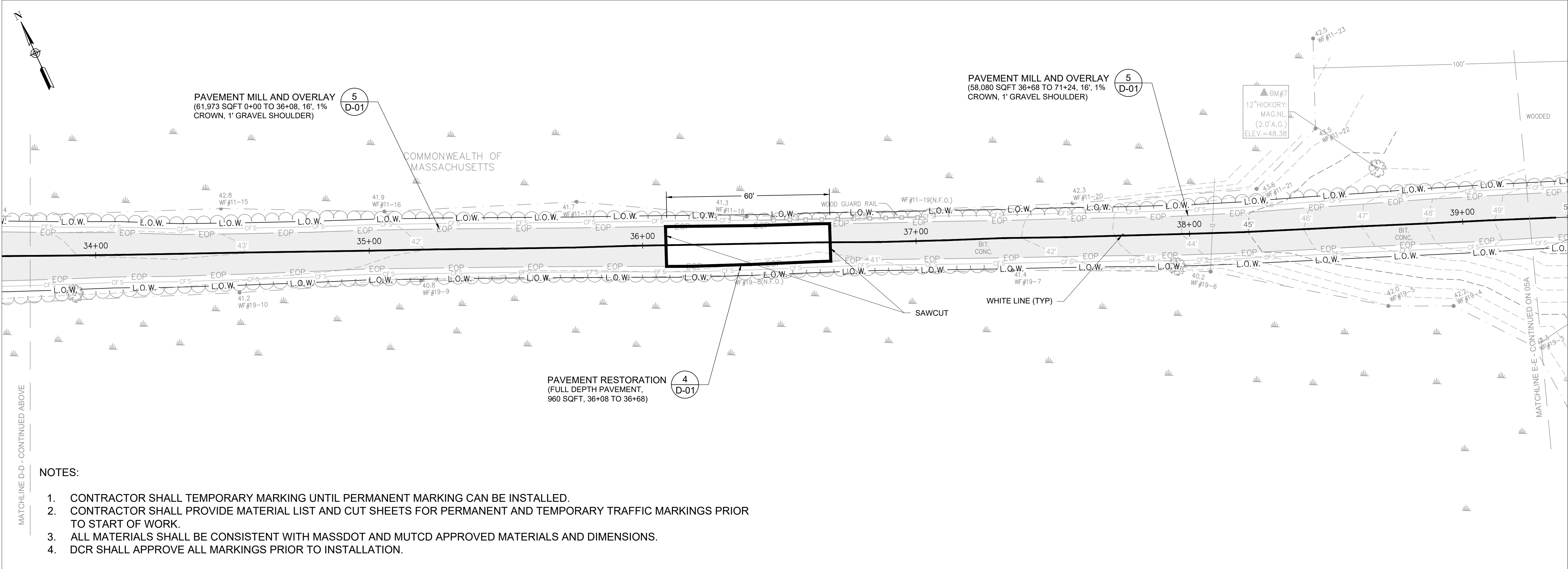
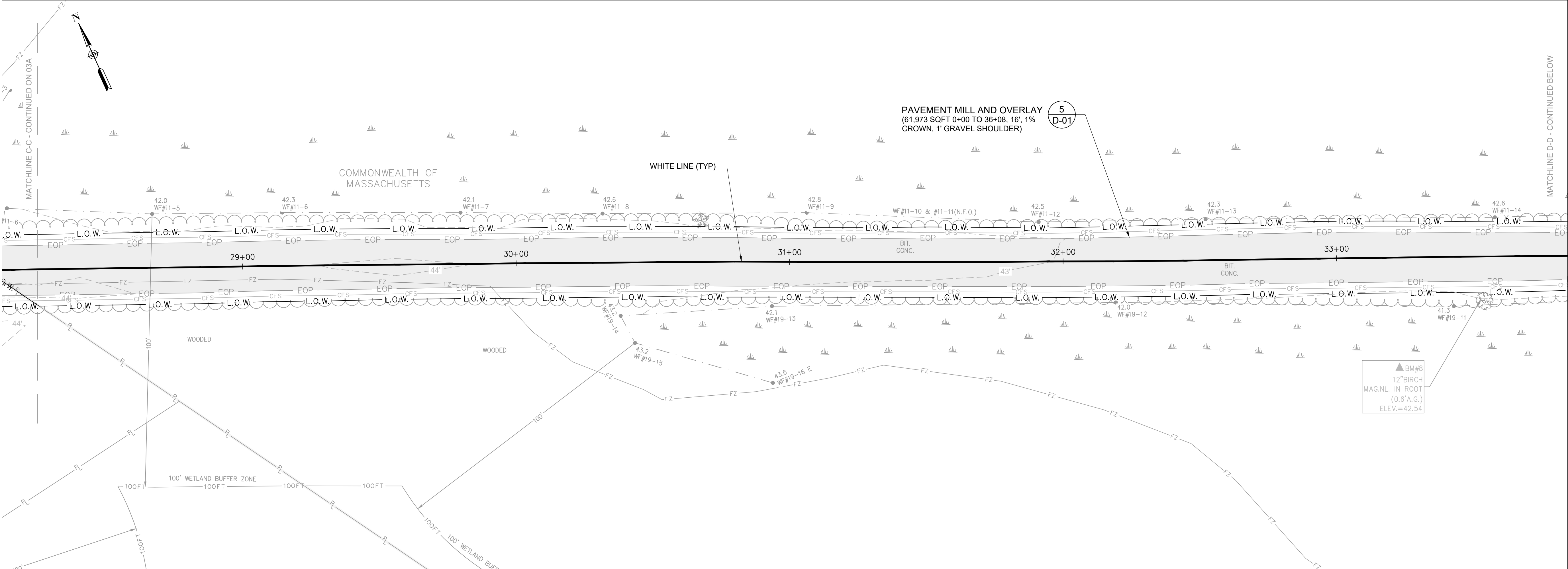
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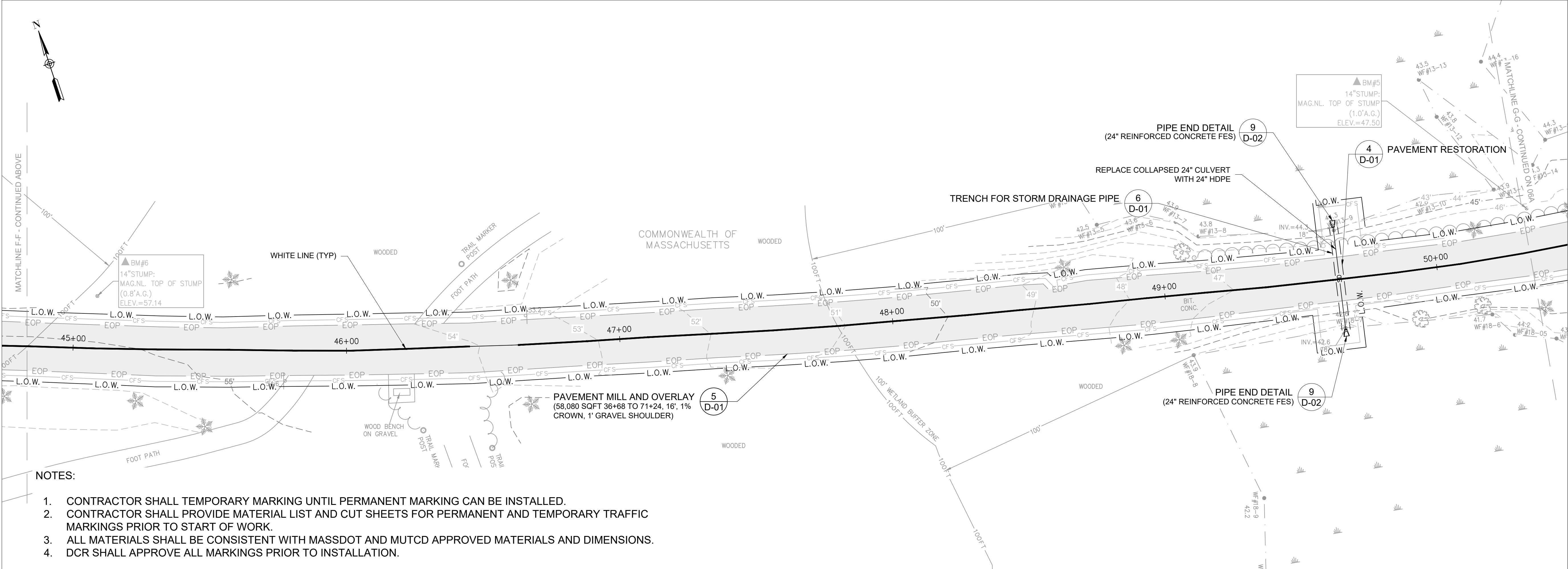
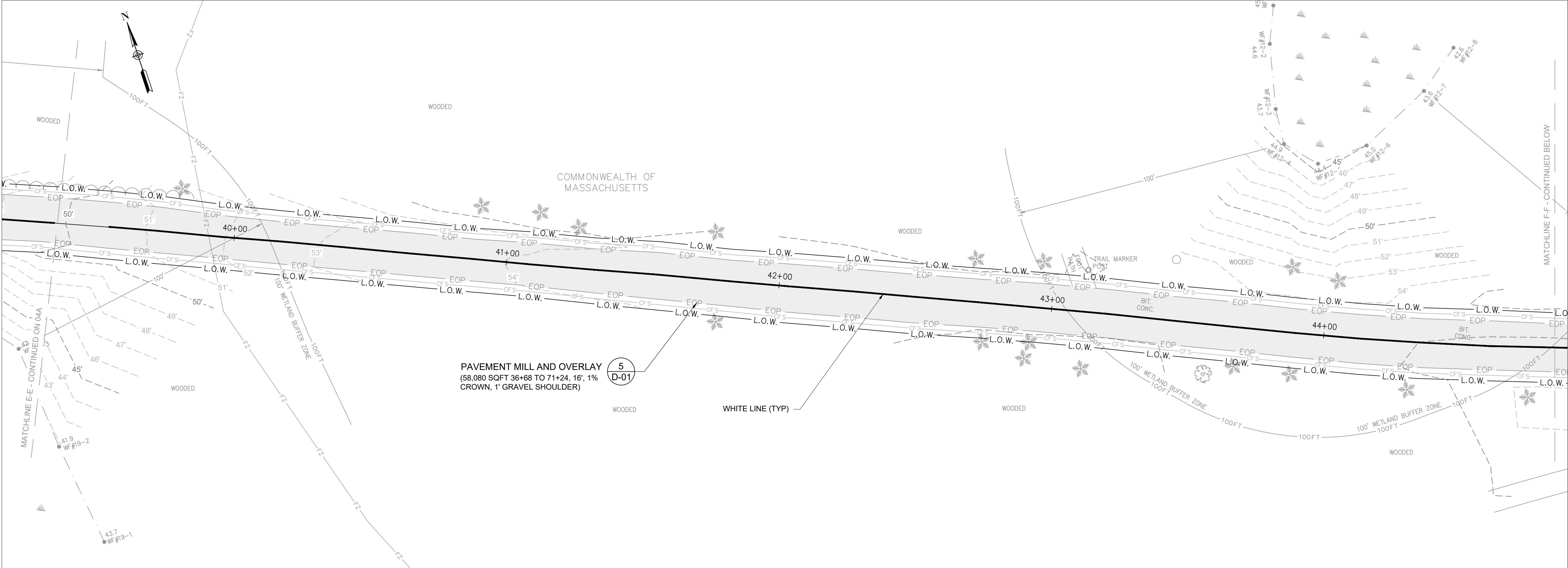
**PROJECT NUMBER**

60687346

**SHEET TITLE**

FINAL GRADE AND  
RESTORATION PLAN  
SHEET 04 OF 07  
PAGE 14 OF 19  
**SHEET NUMBER**

R-04



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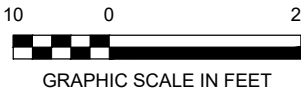


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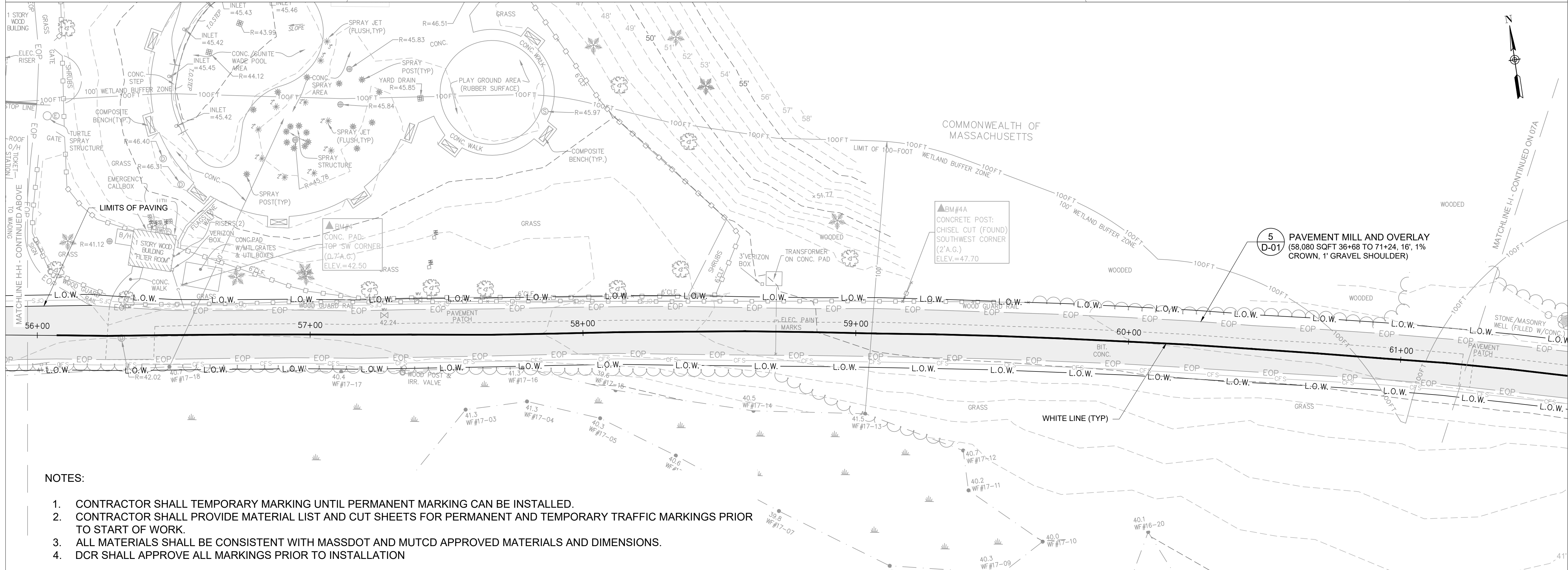
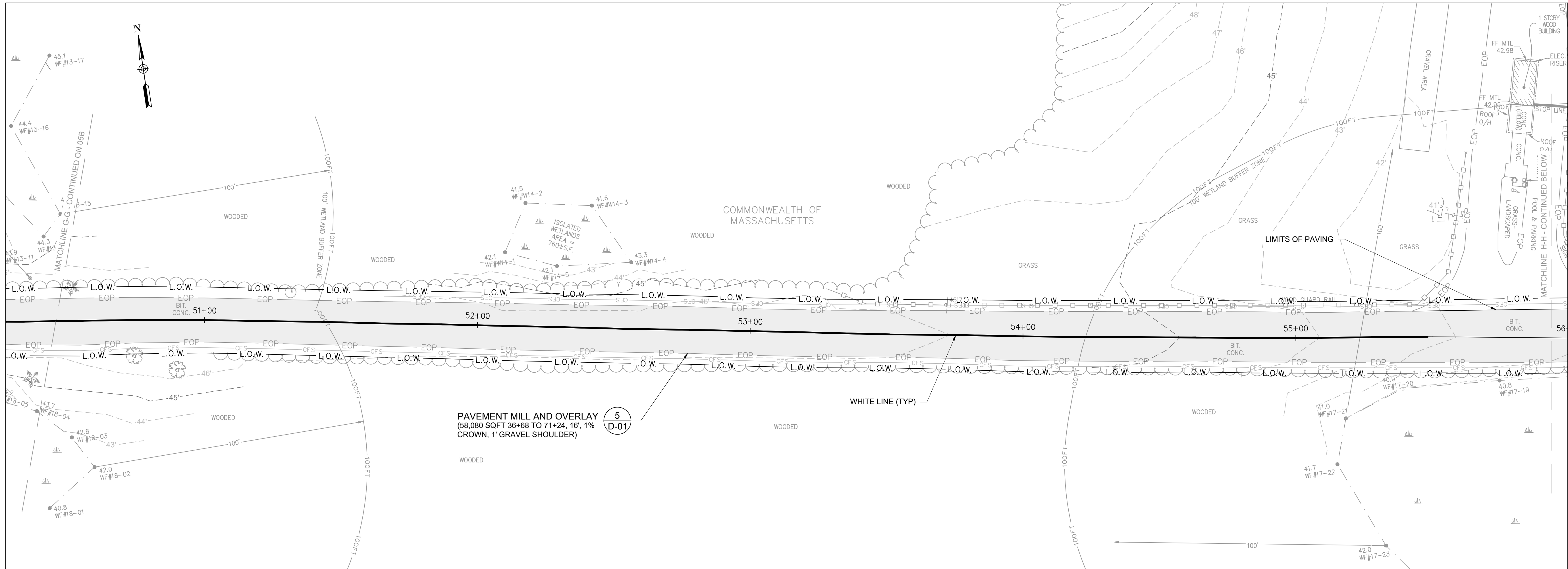
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PAGE 15 OF 19  
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R-05



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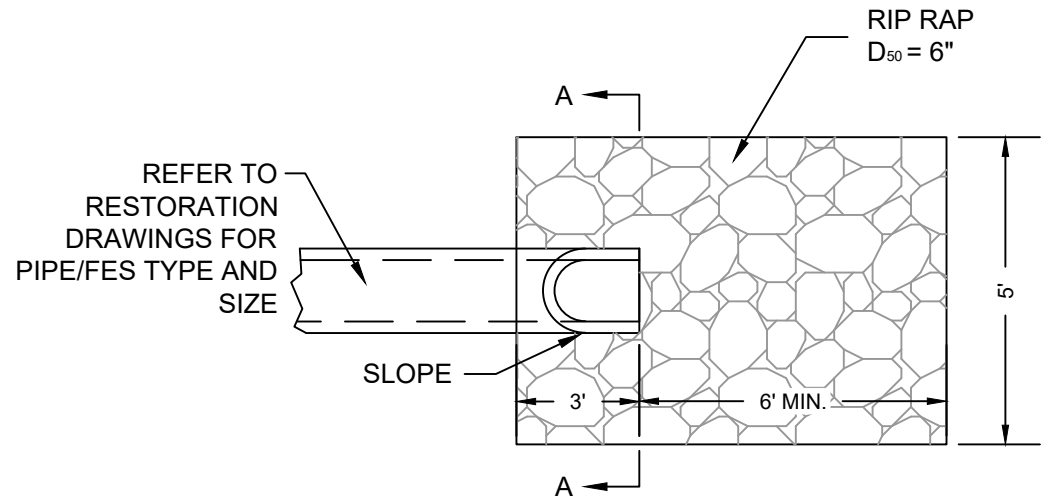
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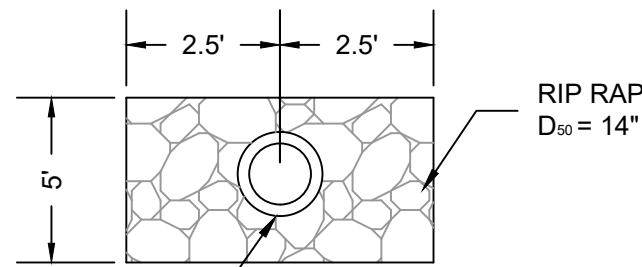


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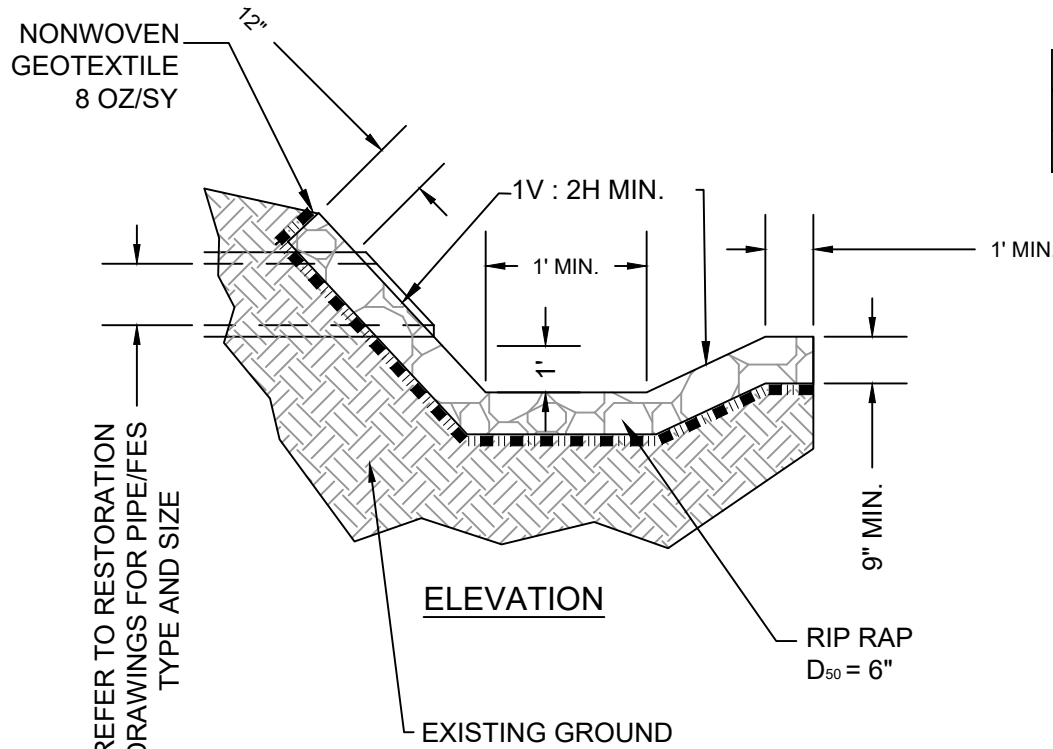




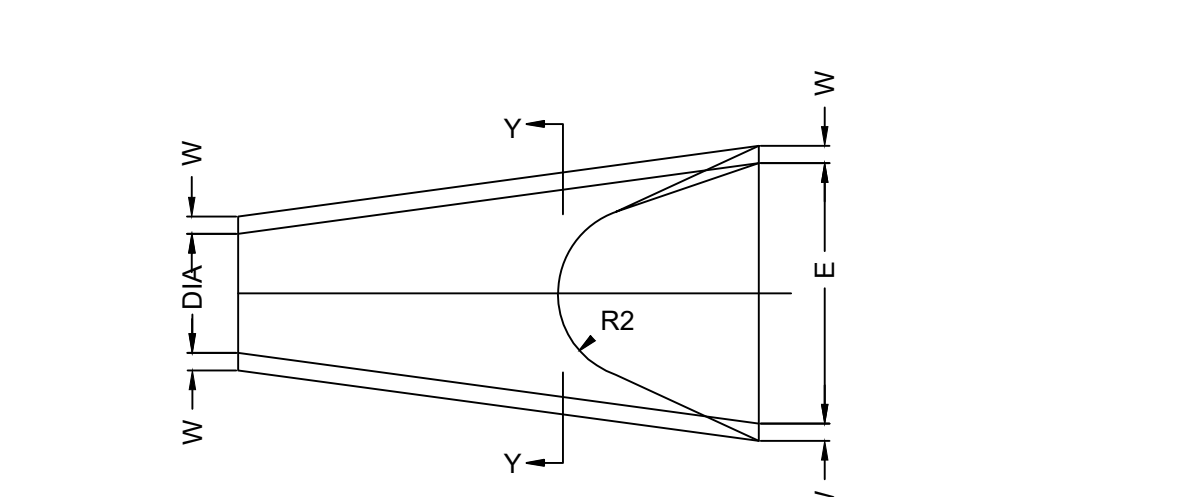
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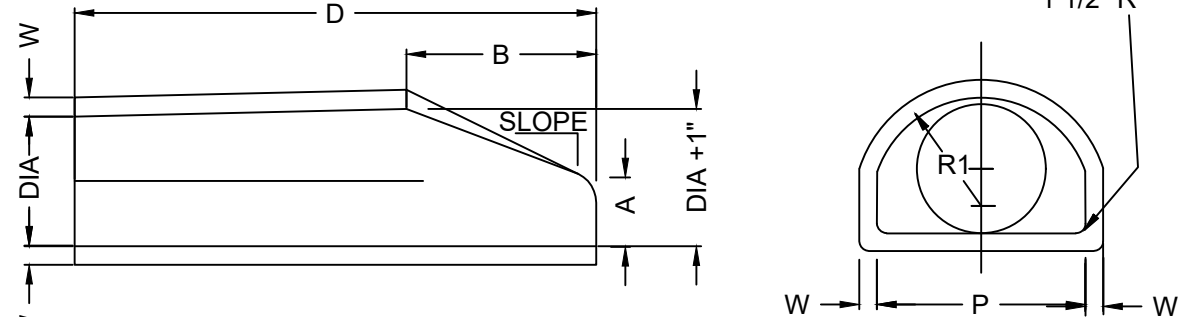
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ELEVATION



PLAN



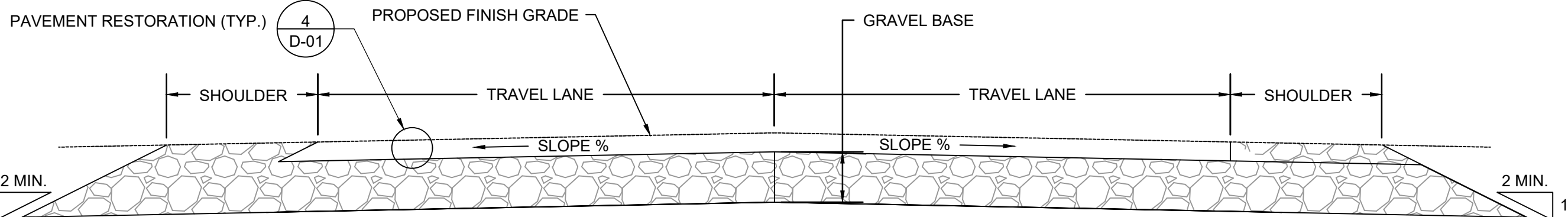
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SECTION Y-Y

Diameter	W (in)	A (in)	B (in)	D (in)	E (in)	P (in)	DIA. +1 (in)	R1 (in)	R2 (in)	SLOPE
12"	2"	4"	2'-0"	6'-0"	2'-0"	19 15/16"	13"	10 1/8"	9"	1V:3H
24"	3"	9 1/2"	3'-7 1/2"	6'-0"	4'-0"	33 3/16"	25"	16 13/16"	14"	1V:3H

NOTES:

1. CORRUGATED HDPE PIPE SHALL BE INSERTED INTO REINFORCED CONCRETE FES A MINIMUM OF 12" AND VOID SPACE SURROUNDING PIPE SHALL BE FILLED WITH MORTAR A MINIMUM OF 6" COLLAR SURROUNDING PIPE PERIMETER INTO AND EXITING FES.



ROADWAY NOTES:

1. REFER TO RESTORATION SHEETS FOR:
  - 1.1. GRAVEL SHOULDER WIDTH (SW)
  - 1.2. TRAVEL LANE WIDTH (TLW)
  - 1.3. CROWN SLOPE (CS)

10 ROADWAY SECTION DETAIL

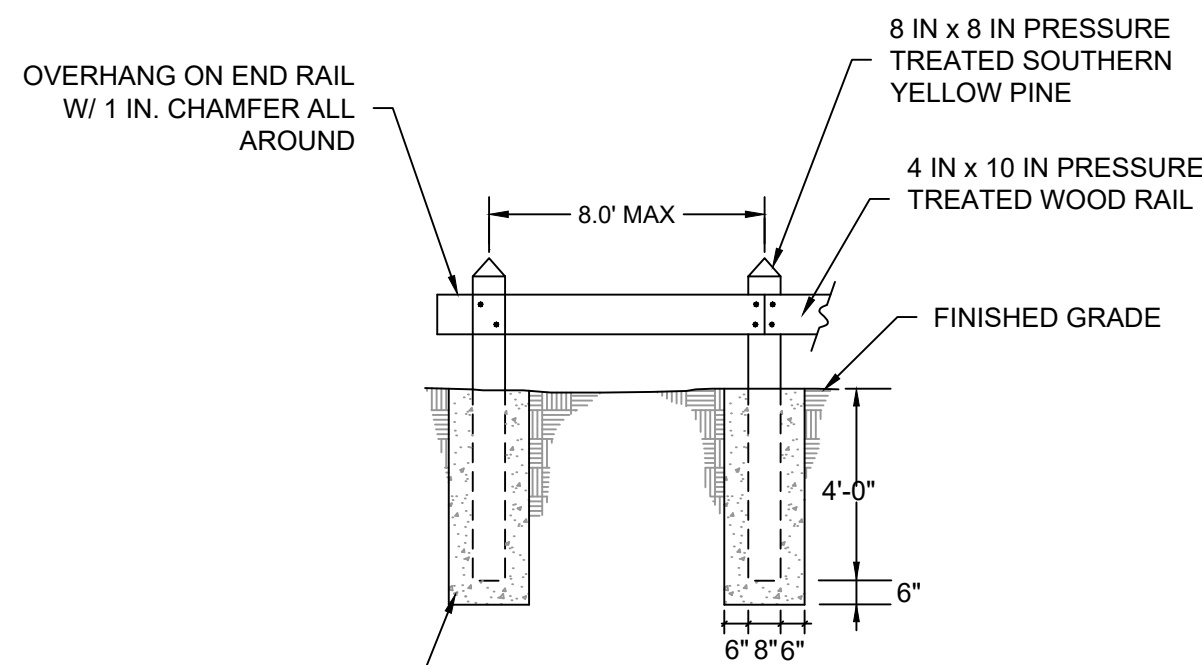
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\* = FOR GENERAL USAGE

9 PIPE END DETAIL

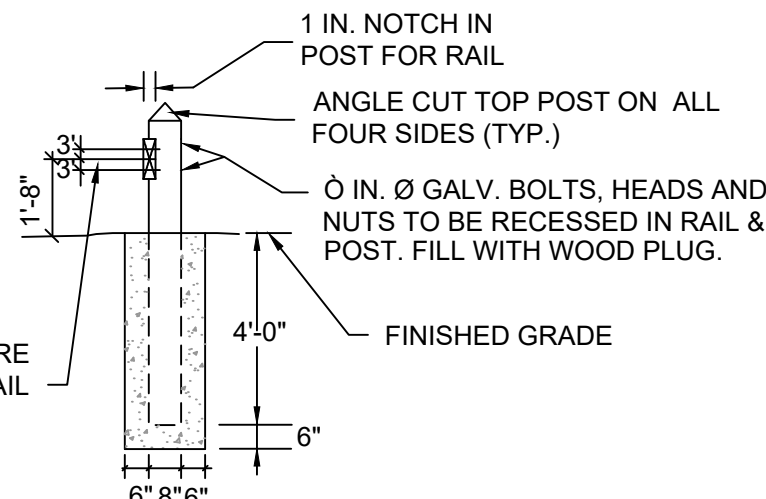
NTS

\* = R-05



ELEVATION

BACKFILL W/ COMPACTED GRAVEL BORROW BASE MATERIAL



SECTION

11 WOOD BEAM GUARDRAIL

NTS

\* = R-01

AECOM

PROJECT

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SHEET TITLE

DETAIL PLAN

SHEET 02 OF 02

PAGE 19 OF 19

SHEET NUMBER

D-02

## **Appendix C – Stormwater Checklist**



# Checklist for Stormwater Report

## A. Introduction

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.<sup>1</sup> This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8<sup>2</sup>
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

<sup>1</sup> The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

<sup>2</sup> For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



# Checklist for Stormwater Report

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## B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

*Note:* Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

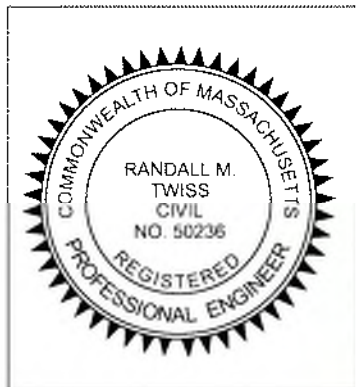
A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

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### Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



*Randall Twiss* 2/4/2025

Signature and Date

---

### Checklist

**Project Type:** Is the application for new development, redevelopment, or a mix of new and redevelopment?

- ☐ New development
- ☒ Redevelopment
- ☐ Mix of New Development and Redevelopment





# Checklist for Stormwater Report

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## Checklist (continued)

**LID Measures:** Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- ☐ No disturbance to any Wetland Resource Areas
- ☐ Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- ☐ Reduced Impervious Area (Redevelopment Only)
- ☒ Minimizing disturbance to existing trees and shrubs
- ☐ LID Site Design Credit Requested:
  - ☐ Credit 1
  - ☐ Credit 2
  - ☐ Credit 3
- ☐ Use of "country drainage" versus curb and gutter conveyance and pipe
- ☐ Bioretention Cells (includes Rain Gardens)
- ☐ Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- ☐ Treebox Filter
- ☐ Water Quality Swale
- ☐ Grass Channel
- ☐ Green Roof
- ☐ Other (describe): .....

### Standard 1: No New Untreated Discharges

- ☒ No new untreated discharges
- ☐ Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- ☐ Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



# Checklist for Stormwater Report

## Checklist (continued)

N/A - The Project does not include an increase in impervious cover and there will be no increase in post-development peak discharge rates.

### Standard 2: Peak Rate Attenuation

- ☐ Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- ☐ Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- ☐ Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

### Standard 3: Recharge

N/A - The Project will not result in an increase in impervious cover

- ☐ Soil Analysis provided.
- ☐ Required Recharge Volume calculation provided.
- ☐ Required Recharge volume reduced through use of the LID site Design Credits.
- ☐ Sizing the infiltration, BMPs is based on the following method: Check the method used.
  - ☐ Static
  - ☐ Simple Dynamic
  - ☐ Dynamic Field<sup>1</sup>
- ☐ Runoff from all impervious areas at the site discharging to the infiltration BMP.
- ☐ Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- ☐ Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- ☐ Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
  - ☐ Site is comprised solely of C and D soils and/or bedrock at the land surface
  - ☐ M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
  - ☐ Solid Waste Landfill pursuant to 310 CMR 19.000
  - ☐ Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- ☐ Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- ☐ Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

<sup>1</sup> 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



# Checklist for Stormwater Report

## Checklist (continued)

### Standard 3: Recharge (continued)

- ☐ The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- ☐ Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

### Standard 4: Water Quality N/A - The Project will not result in an increase in impervious cover. No additional treatment is proposed.

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
  - Provisions for storing materials and waste products inside or under cover;
  - Vehicle washing controls;
  - Requirements for routine inspections and maintenance of stormwater BMPs;
  - Spill prevention and response plans;
  - Provisions for maintenance of lawns, gardens, and other landscaped areas;
  - Requirements for storage and use of fertilizers, herbicides, and pesticides;
  - Pet waste management provisions;
  - Provisions for operation and management of septic systems;
  - Provisions for solid waste management;
  - Snow disposal and plowing plans relative to Wetland Resource Areas;
  - Winter Road Salt and/or Sand Use and Storage restrictions;
  - Street sweeping schedules;
  - Provisions for prevention of illicit discharges to the stormwater management system;
  - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
  - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
  - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- ☐ A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
  - ☐ Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
    - ☐ is within the Zone II or Interim Wellhead Protection Area
    - ☐ is near or to other critical areas
    - ☐ is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
    - ☐ involves runoff from land uses with higher potential pollutant loads.
  - ☐ The Required Water Quality Volume is reduced through use of the LID site Design Credits.
  - ☐ Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.





# Checklist for Stormwater Report

## Checklist (continued)

### Standard 4: Water Quality (continued)

- ☐ The BMP is sized (and calculations provided) based on:
  - ☐ The ½" or 1" Water Quality Volume or
  - ☐ The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- ☐ The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the proprietary BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- ☐ A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

N/A - Not applicable. None of the land uses within the Site have higher potential pollutant loads.

### Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- ☐ The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- ☐ The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior** to the discharge of stormwater to the post-construction stormwater BMPs.
- ☐ The NPDES Multi-Sector General Permit does **not** cover the land use.
- ☐ LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- ☐ All exposure has been eliminated.
- ☐ All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- ☐ The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

N/A - A portion of the Project is located within a Zone II Wellhead Protection Area associated with the Ipswich Department of Public Utilities Water Department. However, the Project does not include any stormwater discharges.

### Standard 6: Critical Areas

- ☐ The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- ☐ Critical areas and BMPs are identified in the Stormwater Report.





# Checklist for Stormwater Report

## Checklist (continued)

### Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- ☒ The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
  - ☐ Limited Project
  - ☐ Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
  - ☐ Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
  - ☐ Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
  - ☐ Bike Path and/or Foot Path
- ☒ Redevelopment Project
- ☐ Redevelopment portion of mix of new and redevelopment.
- ☒ Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- ☐ The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

**Attached and illustrated on drawings**

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
  - Construction Period Operation and Maintenance Plan;
  - Names of Persons or Entity Responsible for Plan Compliance;
  - Construction Period Pollution Prevention Measures;
  - Erosion and Sedimentation Control Plan Drawings;
  - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
  - Vegetation Planning;
  - Site Development Plan;
  - Construction Sequencing Plan;
  - Sequencing of Erosion and Sedimentation Controls;
  - Operation and Maintenance of Erosion and Sedimentation Controls;
  - Inspection Schedule;
  - Maintenance Schedule;
  - Inspection and Maintenance Log Form.
- ☒ A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



# Checklist for Stormwater Report

## Checklist (continued)

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- ☐ The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- ☒ The project is **not** covered by a NPDES Construction General Permit.
- ☐ The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- ☐ The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

### Standard 9: Operation and Maintenance Plan DCR has a general O&M plan this type of work and can be submitted upon request


- ☐ The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
  - ☐ Name of the stormwater management system owners;
  - ☐ Party responsible for operation and maintenance;
  - ☐ Schedule for implementation of routine and non-routine maintenance tasks;
  - ☐ Plan showing the location of all stormwater BMPs maintenance access areas;
  - ☐ Description and delineation of public safety features;
  - ☐ Estimated operation and maintenance budget; and
  - ☐ Operation and Maintenance Log Form.
- ☐ The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
  - ☐ A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
  - ☐ A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

### Standard 10: Prohibition of Illicit Discharges N/A - No proposed work or subsequent maintenance will include illicit connections to the existing stormwater system.

- ☐ The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- ☐ An Illicit Discharge Compliance Statement is attached;
- ☐ NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

## Appendix D – Photographic Log



<b>Client Name:</b> Massachusetts Department of Conservation and Recreation		<b>Site Location:</b> Bradley Palmer State Park, Topsfield/Hamilton, Massachusetts	<b>Project No.</b> 60724762
<b>Photo No.</b> 1	<b>Date:</b> 5/23/23		
View looking west of typical condition of pavement along Bradley Palmer State Park Road. Existing wading pool is visible on the right.			

<b>Photo No.</b> 2	<b>Date:</b> 5/22/23
View looking west from entrance to Bradley Palmer State Park.	

A photograph showing the entrance to Bradley Palmer State Park. On the left, a wooden signpost holds a green sign with white text that reads "BRADLEY PALMER STATE PARK". The sign is situated on a grassy area. To the right of the sign, a yellow surveying tripod stands on a patch of dirt. Further right, an orange traffic cone is placed on the edge of a paved road. The road has a white line on its left side and a yellow line on its right. The road is flanked by dense green trees and foliage. In the background, a utility pole with power lines is visible against a clear blue sky. The overall scene is bright and sunny, suggesting a clear day.



**Client Name:**  
Massachusetts Department of  
Conservation and Recreation

**Site Location:** Bradley Palmer State Park,  
Topsfield/Hamilton, Massachusetts

**Project No.** 60724762

**Photo No.**

3

**Date:**

5/22/23

View looking west of  
Bradley Palmer State  
Park Road with  
approximate location of  
collapsed culvert shown  
in red.



**Photo No.**

4

**Date:**

5/22/23

Area of Bradley Palmer  
State Park Road to be  
resurfaced with adjacent  
uplands on either side of  
the roadway.



## Appendix E – Abutter Information

**TOWN OF HAMILTON  
Conservation Commission  
CERTIFICATE OF PARTIES IN INTEREST**

Pursuant to Massachusetts General Laws, Chapter 40A, Section 11, the undersigned Assessor of the Town of Hamilton, hereby certifies that the names and addresses appearing on the list appended hereto are those of the:

- (a) abutters 100'
- (b) owners of land directly opposite on any public or private street or way
- X (c) owners of land within 300' of the property line of the property at:

**Bradley Palmer State Park - Hamilton**

**So. Hamilton**

Dated **February 19, 2025**

**Prepared by Assessor's Office of the Town of Hamilton.**

*Jane Dooley*  
**Assistant Assessor**



# 300 feet Abutters List Report

Hamilton, MA  
February 19, 2025

## Subject Property:

Parcel Number: 20-0001  
CAMA Number: 20-000-0001  
Property Address: 550 HIGHLAND ST

Mailing Address: MASS COMMONWEALTH OF BRADLEY  
PALMER STATE PARK  
24 ASBURY ST  
TOPSFIELD, MA 01983

---

## Abutters:

Parcel Number: 02-0001  
CAMA Number: 02-000-0001  
Property Address: 0 WINTHROP ST

Mailing Address: ESSEX COUNTY GREENBELT ASSOC  
C/O BECKER EDWARD  
82 EASTERN AV  
ESSEX, MA 01929

Parcel Number: 02-0004  
CAMA Number: 02-000-0004  
Property Address: 0 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD FRANZ F.  
47 WINTHROP ST  
HAMILTON, MA 01982

Parcel Number: 06-0001  
CAMA Number: 06-000-0001  
Property Address: 46 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD ANNE D & RU  
46 WINTHROP ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 06-0002  
CAMA Number: 06-000-0002  
Property Address: 45 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD RUDOLPH JOS  
COLLOREDO-MANSFELD FRANCESCA  
122 PORTER PLACE  
CHAPEL HILL, NC 27514

Parcel Number: 06-0003  
CAMA Number: 06-000-0003  
Property Address: 47 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD FRANZ-ANNE  
47 WINTHROP ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 06-0005  
CAMA Number: 06-000-0005  
Property Address: 0 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD FRANZ F & A  
47 WINTHROP ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 06-0006  
CAMA Number: 06-000-0006  
Property Address: 0 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD FRANZ FERD  
47 WINTHROP ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 12-0001  
CAMA Number: 12-000-0001  
Property Address: 0 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD ANNE D & RU  
46 WINTHROP ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0001  
CAMA Number: 13-000-0001  
Property Address: 572 HIGHLAND ST

Mailing Address: LAMENDOLA JOEL GRIESHABER  
KIRSTEN  
572 HIGHLAND ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0004  
CAMA Number: 13-000-0004  
Property Address: 0 HIGHLAND ST

Mailing Address: PINGREE SCHOOL  
537 HIGHLAND ST  
SOUTH HAMILTON, MA 01982



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2/19/2025

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Page 1 of 3





# 300 feet Abutters List Report

Hamilton, MA  
February 19, 2025

Parcel Number: 13-0005  
CAMA Number: 13-000-0005  
Property Address: 537 HIGHLAND ST

Mailing Address: PINGREE SCHOOL  
537 HIGHLAND ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0006  
CAMA Number: 13-000-0006  
Property Address: 571 HIGHLAND ST

Mailing Address: PINGREE SCHOOL INC  
571 HIGHLAND ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0007  
CAMA Number: 13-000-0007  
Property Address: 551 HIGHLAND ST

Mailing Address: PINGREE SCHOOL INC  
537 HIGHLAND ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0011  
CAMA Number: 13-000-0011  
Property Address: 0 HIGHLAND ST

Mailing Address: COLLOREDO-MANSFELD FRANZ F TR  
WINTHROP ST TRUST  
45 WINTHROP ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0012  
CAMA Number: 13-000-0012  
Property Address: 0 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD S L ETAL TRS  
S LAWRENCE NOMINEE TR  
45 WINTHROP ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0013  
CAMA Number: 13-000-0013  
Property Address: 0 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD ANNE D  
RUDOLF J  
WINTHROP ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0016  
CAMA Number: 13-000-0016  
Property Address: 595 HIGHLAND ST

Mailing Address: GARZOLI JEREMY CAITLIN C  
595 HIGHLAND ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 19-0002  
CAMA Number: 19-000-0002  
Property Address: 649 ASBURY ST

Mailing Address: ESSEX COUNTY GREENBELT ASSOC  
82 EASTERN AVE  
ESSEX, MA 01929

Parcel Number: 20-0002  
CAMA Number: 20-000-0002  
Property Address: 477 HIGHLAND ST

Mailing Address: PINGREE SCHOOL INC  
477 HIGHLAND ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 20-0004  
CAMA Number: 20-000-0004  
Property Address: 468 HIGHLAND ST

Mailing Address: STEGGALL JAMES H MARY B  
468 HIGHLAND ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 20-0005  
CAMA Number: 20-000-0005  
Property Address: 466 HIGHLAND ST

Mailing Address: BRITTON PETER P BEATRICE T  
PO BOX 2327  
S HAMILTON, MA 01982

Parcel Number: 20-0006  
CAMA Number: 20-000-0006  
Property Address: 497 HIGHLAND ST

Mailing Address: KHRISTITCH ERIN K MCCOLLOM  
MATTHEW M  
497 HIGHLAND ST  
SOUTH HAMILTON, MA 01982



www.cai-tech.com

2/19/2025

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Page 2 of 3



# 300 feet Abutters List Report

Hamilton, MA  
February 19, 2025

Parcel Number: 20-0007  
CAMA Number: 20-000-0007  
Property Address: 517 HIGHLAND ST

Mailing Address: SWEENEY EDWARD J SWEENEY  
HADLEY L  
517 HIGHLAND ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 20-0008  
CAMA Number: 20-000-0008  
Property Address: 441 HIGHLAND ST

Mailing Address: ODDO STEPHEN CAREY ALECIA  
441 HIGHLAND ST  
SOUTH HAMILTON, MA 01982

Parcel Number: 20-011B  
CAMA Number: 20-000-0011  
Property Address: 466 HIGHLAND ST

Mailing Address: BRITTON FAMILY LLC BRITTON PETER  
& BEATRICE  
PO BOX 2327  
S HAMILTON, MA 01982

Parcel Number: 20-0012  
CAMA Number: 20-000-0012  
Property Address: 466 HIGHLAND ST

Mailing Address: BRITTON FAMILY LLC BRITTON PETER  
& BEATRICE  
PO BOX 2327  
S HAMILTON, MA 01982

Parcel Number: 21-0001  
CAMA Number: 21-000-0001  
Property Address: 537 HIGHLAND ST

Mailing Address: PINGREE SCHOOL  
HIGHLAND ST  
SOUTH HAMILTON, MA 01982



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2/19/2025

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## Notification to Abutters

By Hand Delivery, Certified Mail (return receipt requested), or Certificates of Mailing

*This is a notification required by law. You are receiving this notification because you have been identified as the owner of land abutting another parcel of land for which certain activities are proposed. Those activities require a permit under the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40).*

In accordance with the second paragraph of the Massachusetts Wetlands Protection Act, and 310 CMR 10.05(4)(a) of the Wetlands Regulations, you are hereby notified that:

- A. A Notice of Intent was filed with the Hamilton Conservation Commission on February 28, 2025 seeking permission to remove, fill, dredge, or alter an area subject to protection under M.G.L. c. 131 §40. The following is a description of the proposed activity/activities:

DCR is proposing to resurface Bradley Palmer State Park Road between the Topsfield Town Line and Highland Street. Also included in the scope of the Project is the replacement of a collapsed 24" culvert with a 24" high-density polyethylene (HDPE) pipe.

- B. The name of the applicant is: Massachusetts Department of Conservation & Recreation.
- C. The address of the land where the activity is proposed is: 540 Highland Street, Hamilton, MA, Map 12, Parcel 20-1.
- D. Copies of the Notice of Intent may be examined or obtained at the office of the Hamilton Conservation Commission, located at 650 Asbury Street, Hamilton, MA. The regular business hours of the Commission are Monday through Thursday, 8am to 12:30pm, and the Commission may be reached at 978-626-5251.
- E. Copies of the Notice of Intent may be obtained from the applicant or their representative by calling Jessica Marino from AECOM at 203-536-1833. An administrative fee may be applied for providing copies of the NOI and plans.
- F. Information regarding the date, time, and location of the public hearing regarding the Notice of Intent may be obtained from the Topsfield Conservation Commission. Notice of the public hearing will be published at least five business days in advance, in the Hamilton-Wenham Chronicle.

Notification provided pursuant to the above requirement does not automatically confer standing to the recipient to request Departmental Action for the underlying matter. See 310 CMR 10.05(7)(a)4.





Bethany Barstow  
Conservation Agent  
Town of Hamilton  
650 Asbury Street  
Hamilton, MA 01982  
P.O. Box 429

March 6, 2025

TEC Project No. T1093

Re: DEP # 172-0625 – Drainage and Paving Improvements - Bridge Street & Miles River Road Hamilton, MA - Request for Amended Order of Conditions

Dear Ms. Barstow and Members of the Commission:

On behalf of the Applicant, Town of Hamilton - DPW, TEC respectfully submits this *Request for Amended Order of Conditions* for this Drainage & Paving Improvements project located at Bridge Street (Bay Road to Miles River Road) & Miles River Road (Bridge Street to Essex Street), Hamilton, MA. An Order of Conditions (172-0625) was issued by the Hamilton Conservation Commission dated August 18, 2021 (Attachment C). The purpose of this filing is to propose minor changes to the layout and location of the drainage system and to detail proposed pavement maintenance activities.

***Revised Drainage Layout – Reduced Piping & Leaching Catch Basins***

The original proposed drainage layout is shown on TEC's Plans dated July 7, 2021 (Attachment A). This plan included 21 drainage structures (existing connected to proposed, modifications of existing structures, and proposed structures). The newly proposed drainage layout shown on TEC's Plans dated February 28, 2025 (Attachment B) reduces that number of structures and associated pipe connections. The new plan includes 19 drainage structures (existing connected to proposed, modifications of existing structures, and proposed structures).

Below please find a summary of the proposed changes to the proposed drainage system:

Two catch basins in the northwestern portion of Bridge Street have been altered. The previous plan proposed replacing the existing leaching catch basins with two proposed deep sump catch basins, a manhole connection, and approximately 300' of 12" RCP (CB-1, CB-2, & DMH-3 on the July-7-2021 Plans). These basins are now proposed to be replaced with two new leaching catch basins, with no additional piping connection leading to the proposed trunk line. With the decrease in the overall length of the trunkline, previously proposed drainage structures were able to be repositioned to reduce the overall number of catch basins needed to capture stormwater along Bridge Street. As a result, DMH-3, CB-4, CB-5, DMH-6 (July-7-2021 Plans) were able to be removed. One additional catch basin, CB-5 (February-28-2025 Plans), has been proposed. One additional drop inlet has also been proposed to replace a proposed catch basin (CB-20 on the July-7-2021 Plans). These proposed changes will continue to improve upon existing conditions,

maintain existing drainage patterns, and reduce the overall piping and structures needed to effectively manage stormwater.

***Pavement Maintenance Activities – Mill & Overlay***

The revised plans also include a Mill & Overlay section of pavement along Bridge Street (between Stations 100+20 through 114+00) and Miles River Road (Stations 201+50 through 212+75) throughout the existing layout of the roadway. These changes add to the already detailed sidewalk/driveway repairs detailed on the previously approved plans. Locations of sidewalk/driveway repairs are more clearly defined in the revised plans. All Mill & Overlay of roadway sections is limited to the existing footprint of both roadways. The Mill & Overlay is considered a maintenance/repair activity of existing pavement, and therefore this project qualifies as a limited project under 310 CMR 10.02.2.(b).2.p. and 10.53(3)(f) of the Wetlands Protection Act. This regulation grants limited project status to projects that propose “maintenance and improvement of existing public roadways, but limited to widening less than a single lane, adding shoulders, correcting substandard intersections, and improving inadequate drainage systems.”

TEC is excited to discuss the latest changes to the plans with the Conservation Commission. Please do not hesitate to contact me directly if you have any questions at 978-794-1792. Thank you for your consideration.

Sincerely,  
TEC, Inc.  
*“The Engineering Corporation”*



Matthew Perry, PE  
Civil Engineer – Project Manager

**Attachments**

- A – Drainage Improvement Plan – Bridge Street & Miles River Road (TEC, Inc.) – Dated July 7, 2021
- B – Drainage and Pavement Improvement Plan – Bridge Street & Miles River Road (TEC, Inc.) – Dated February 28, 2025
- C – Order of Conditions 172-0625 – Issued July 14, 2021

# 2021 DRAINAGE & PAVING IMPROVEMENTS

HAMILTON  
BRIDGE ST, MILES RIVER RD,  
ESSEX ST, FOREST ST, APPALOOSA LANE,  
VILLAGE LANE, BEECH ST, & LAKE SHORE AVE  
TITLE SHEET & INDEX  
SHEET 1 OF 16

PLAN OF

BRIDGE STREET, MILES RIVER ROAD, ESSEX STREET, APPALOOSA LANE, FOREST STREET, LAKE SHORE AVE, VILLAGE LANE, & BEECH STREET

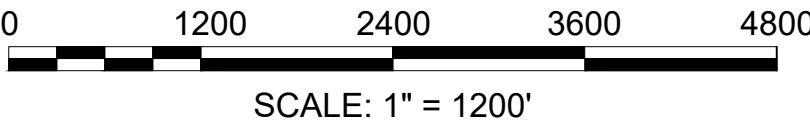
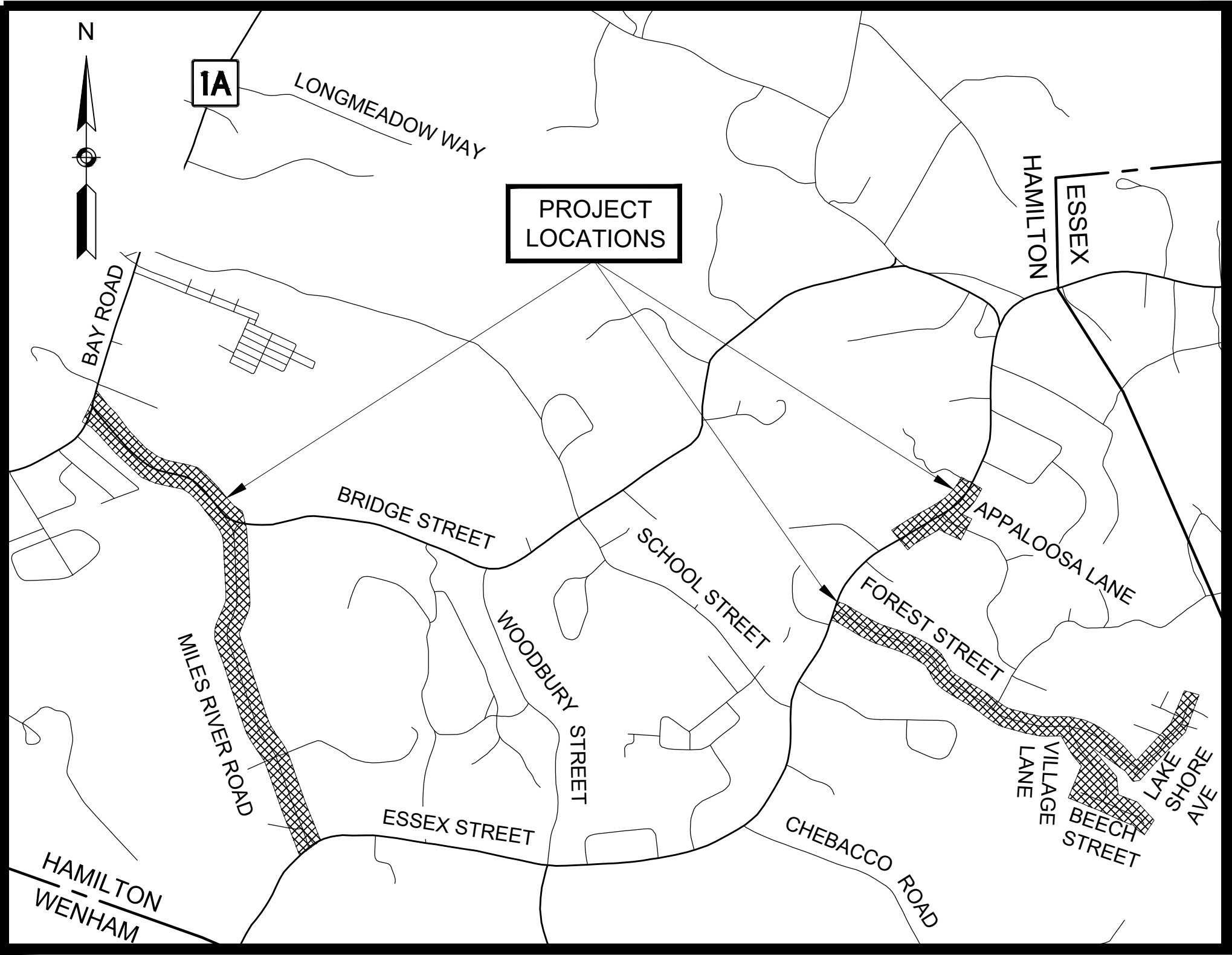
IN THE TOWN OF

HAMILTON  
ESSEX COUNTY

THESE PLANS ARE SUPPLEMENTED BY THE OCTOBER 2017 CONSTRUCTION STANDARD DETAILS, THE 2015 OVERHEAD SIGNAL STRUCTURE AND FOUNDATION STANDARD DRAWINGS, MASSDOT TRAFFIC MANAGEMENT PLANS AND DETAIL DRAWINGS, THE 1990 STANDARD DRAWINGS FOR SIGNS AND SUPPORTS, THE 1968 STANDARD DRAWINGS FOR TRAFFIC SIGNALS AND HIGHWAY LIGHTING, AND THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK.


## REVISED NOI SUBMITTAL

INDEX	
SHEET NO.	DESCRIPTION
1	TITLE SHEET & INDEX
2	LEGEND & ABBREVIATIONS
3	KEY PLAN
4-11	CONSTRUCTION PLANS SHEETS 9-11 OMITTED
12-14	TEMPORARY TRAFFIC CONTROL PLANS - OMITTED
15-16	CONSTRUCTION DETAILS



LENGTH OF PROJECT ALONG BRIDGE STREET = 1940 FEET = 0.367 MILES  
LENGTH OF PROJECT ALONG MILES RIVER ROAD = 3570 FEET = 0.676 MILES  
LENGTH OF PROJECT ALONG ESSEX STREET = 850 FEET = 0.161 MILES  
LENGTH OF PROJECT ALONG FOREST STREET = 3630 FEET = 0.68 MILES  
LENGTH OF PROJECT ALONG APPALOOSA LANE = 275 FEET = 0.052 MILES  
LENGTH OF PROJECT ALONG LAKE SHORE AVE = 1070 FEET = 0.203 MILES  
LENGTH OF PROJECT ALONG VILLAGE LANE = 905 FEET = 0.171 MILES  
LENGTH OF PROJECT ALONG BEECH STREET = 615 FEET = 0.116 MILES

7/7/2021	REVISED NOI SUBMITTAL	1
6/9/2021	NOI SUBMITTAL	-
DATE	DESCRIPTION	REV #





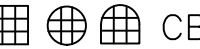

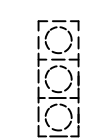
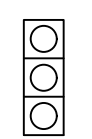













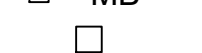



































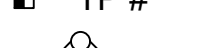



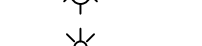



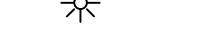



















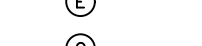







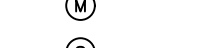



















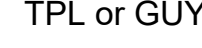























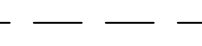

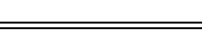

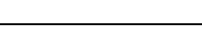

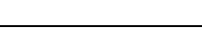

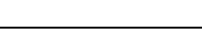

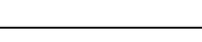

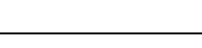

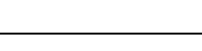

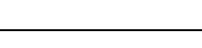

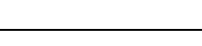



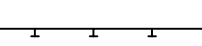

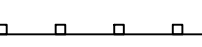

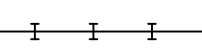

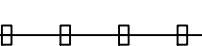

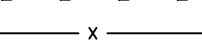

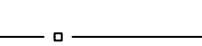


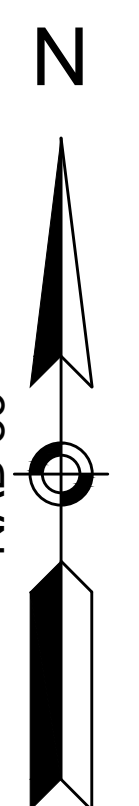
TEC, Inc.

146 Dascomb Road Andover, MA 01810 978-794-1792	311 Main Street 2nd Floor Worcester, MA 01608 508-868-5104	169 Ocean Blvd, Unit 3 PO Box 249 Hampton, NH 03842 603-601-8154
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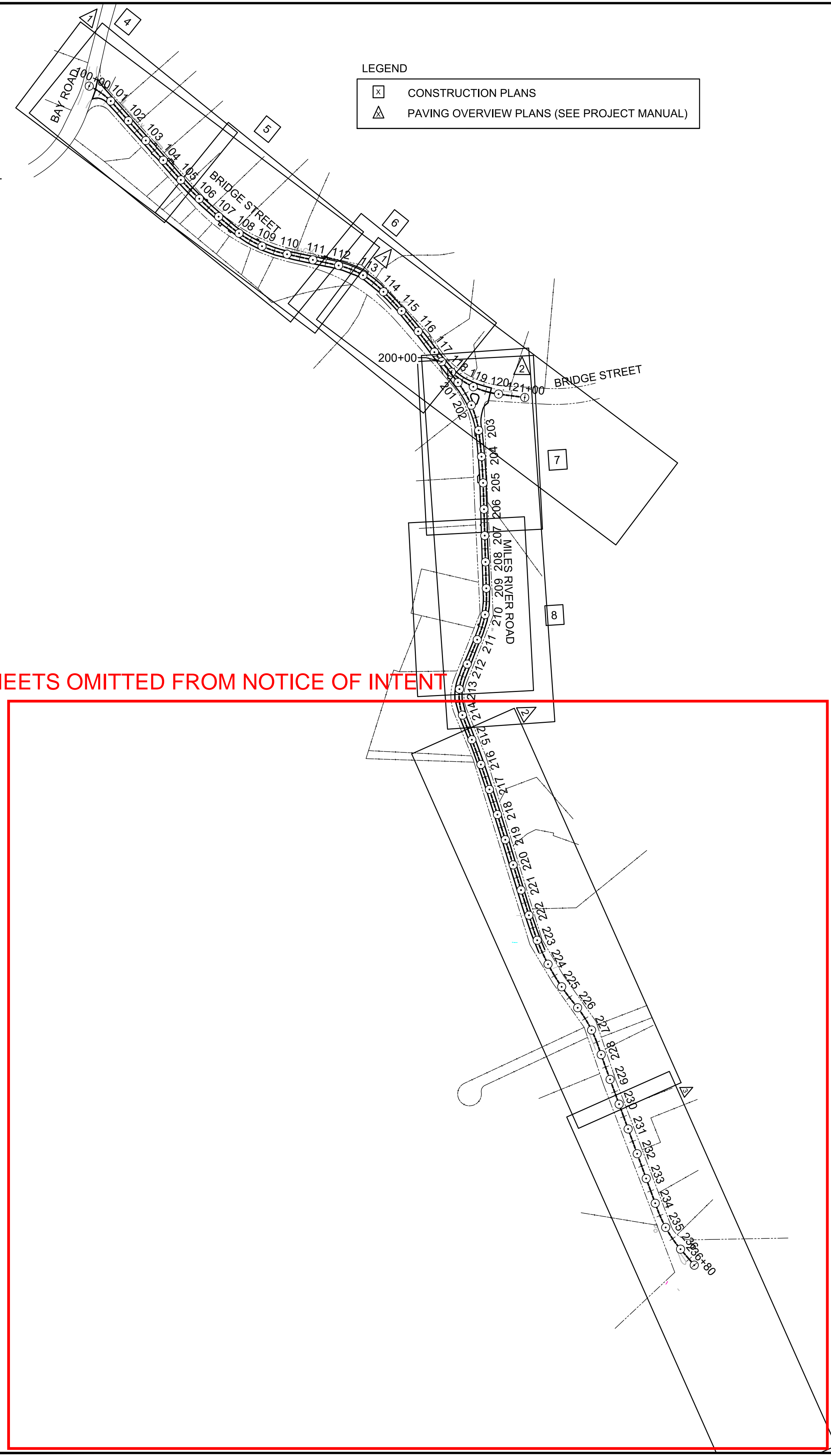


GENERAL SYMBOLS			TRAFFIC SYMBOLS			ABBREVIATIONS		HAMILTON BRIDGE ST, MILES RIVER RD, ESSEX ST, FOREST ST, APPALOOSA LANE, VILLAGE LANE, BEECH ST, & LAKE SHORE AVE LEGEND & ABBREVIATIONS SHEET 2 OF 16	
EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	GENERAL		ABBREVIATIONS (cont.)	
		JERSEY BARRIER			CONTROLLER PHASE ACTUATED	AADT	ANNUAL AVERAGE DAILY TRAFFIC	R	RADIUS OF CURVATURE
		CATCH BASIN			TRAFFIC SIGNAL HEAD (SIZE AS NOTED)	ABAN	ABANDON	R&D	REMOVE AND DISPOSE
		CATCH BASIN CURB INLET			WIRE LOOP DETECTOR (6' x 6' TYP UNLESS OTHERWISE SPECIFIED)	ADJ	ADJUST	RCP	REINFORCED CONCRETE PIPE
		FLAG POLE			VIDEO DETECTION CAMERA	APPROX.	APPROXIMATE	RD	ROAD
		GAS PUMP			MICROWAVE DETECTOR	A.C.	ASPHALT CONCRETE	RDWY	ROADWAY
		MAIL BOX			PEDESTRIAN PUSH BUTTON, SIGN (DIRECTIONAL ARROW AS SHOWN) AND SADDLE	ACCM PIPE	ASPHALT COATED CORRUGATED METAL PIPE	REM	REMOVE
		POST SQUARE			EMERGENCY PREEMPTION CONFIRMATION STROBE LIGHT	BIT.	BITUMINOUS	RET	RETAIN
		POST CIRCULAR			VEHICULAR SIGNAL HEAD	BC	BOTTOM OF CURB	RET WALL	RETAINING WALL
		WELL			VEHICULAR SIGNAL HEAD, OPTICALLY PROGRAMMED	BL	BASELINE	ROW	RIGHT OF WAY
		ELECTRIC HANDHOLE			FLASHING BEACON	BLDG	BUILDING	RR	RAILROAD
		FENCE GATE POST			PEDESTRIAN SIGNAL HEAD, (TYPE AS NOTED OR AS SPECIFIED)	BR.	BRIDGE	R&R	REMOVE AND RESET
		GAS GATE			RAILROAD SIGNAL	CB	CATCH BASIN	R&S	REMOVE AND STACK
		BORING HOLE			SIGNAL POST AND BASE (ALPHA-NUMERIC DESIGNATION NOTED)	CBCI	CATCH BASIN WITH CURB INLET	RT	RIGHT
		MONITORING WELL			MAST ARM, SHAFT AND BASE (ARM LENGTH AS NOTED)	CC	CEMENT CONCRETE	SB	STONE BOUND
		TEST PIT			HIGH MAST POLE OR TOWER	CCM	CEMENT CONCRETE MASONRY	SHLD	SHOULDER
		HYDRANT			SIGN AND POST	CEM	CEMENT	SMH	SEWER MANHOLE
		LIGHT POLE			SIGN AND POST (2 POSTS)	CI	CURB INLET	ST	STREET
		COUNTY BOUND			MAST ARM WITH LUMINAIRE	CIP	CAST IRON PIPE	STA	STATION
		GPS POINT			OPTICAL PRE-EMPTION DETECTOR	CLF	CHAIN LINK FENCE	SSD	STOPPING SIGHT DISTANCE
		CABLE MANHOLE			CONTROL CABINET, GROUND MOUNTED	CL	CENTERLINE	SHLO	STATE HIGHWAY LAYOUT LINE
		DRAINAGE MANHOLE			CONTROL CABINET, POLE MOUNTED	CMP	CORRUGATED METAL PIPE	SW	SIDEWALK
		ELECTRIC MANHOLE			LOAD CENTER ASSEMBLY	CSP	CORRUGATED STEEL PIPE	T	TANGENT DISTANCE OF CURVE/TRUCK %
		GAS MANHOLE			PULL BOX 12"x12" (OR AS NOTED)	CO.	COUNTY	TAN	TANGENT
		MISC MANHOLE			ELECTRIC HANDHOLE 12"x24" (OR AS NOTED)	CONC	CONCRETE	TEMP	TEMPORARY
		SEWER MANHOLE	-----			CONT	CONTINUOUS	TC	TOP OF CURB
		TELEPHONE MANHOLE	-----			CONST	CONSTRUCTION	TOS	TOP OF SLOPE
		WATER MANHOLE	-----			CR GR	CROWN GRADE	TYP	TYPICAL
		MASSACHUSETTS HIGHWAY BOUND	-----			DHV	DESIGN HOURLY VOLUME	UP	UTILITY POLE
		MONUMENT	-----			DI	DROP INLET	VAR	VARIES
		STONE BOUND	-----			DIA	DIAMETER	VERT	VERTICAL
		TOWN OR CITY BOUND	-----			DIP	DUCTILE IRON PIPE	VC	VERTICAL CURVE
		TRAVERSE OR TRIANGULATION STATION	-----			DW	STEADY DON'T WALK - PORTLAND ORANGE	WCR	WHEEL CHAIR RAMP
		TROLLEY POLE OR GUY POLE	-----			DWY	DRIVEWAY	WG	WATER GATE
		TRANSMISSION POLE	-----			ELEV (or EL.)	ELEVATION	WIP	WROUGHT IRON PIPE
		UTILITY POLE W/ FIREBOX	-----			EMB	EMBANKMENT	WM	WATER METER/WATER MAIN
		UTILITY POLE WITH DOUBLE LIGHT	-----			EOP	EDGE OF PAVEMENT	X-SECT	CROSS SECTION
		UTILITY POLE W / 1 LIGHT	-----			EXIST (or EX)	EXISTING		
		UTILITY POLE	-----			EXC	EXCAVATION		
		BUSH	-----			F&C	FRAME AND COVER		
		TREE	-----			F&G	FRAME AND GRATE		
		STUMP	-----			FDN.	FOUNDATION		
		SWAMP / MARSH	-----			FLDSTN	FIELDSTONE		
		WATER GATE	-----			GAR	GARAGE		
		PARKING METER	-----			GD	GROUND		
		OVERHEAD CABLE/WIRE	-----			GG	GAS GATE		
		CURBING	-----			GI	GUTTER INLET		
		CONTOURS (ON-THE-GROUND SURVEY DATA)	-----			GIP	GALVANIZED IRON PIPE		
		CONTOURS (PHOTOGRAMMETRIC DATA)	-----			GRAN	GRANITE		
		UNDERGROUND DRAIN PIPE (DOUBLE LINE 24 INCH AND OVER)	-----			GRAV	GRAVEL		
		UNDERGROUND ELECTRIC DUCT (DOUBLE LINE 24 INCH AND OVER)	-----			GRD	GUARD		
		UNDERGROUND GAS MAIN (DOUBLE LINE 24 INCH AND OVER)	-----			HDW	HEADWALL		
		UNDERGROUND SEWER MAIN (DOUBLE LINE 24 INCH AND OVER)	-----			HMA	HOT MIX ASPHALT		
		UNDERGROUND TELEPHONE DUCT (DOUBLE LINE 24 INCH AND OVER)	-----			HOR	HORIZONTAL		
		UNDERGROUND WATER MAIN (DOUBLE LINE 24 INCH AND OVER)	-----			HYD	HYDRANT		
		BALANCED STONE WALL	-----			INV	INVERT		
		GUARD RAIL - STEEL POSTS	-----			JCT	JUNCTION		
		GUARD RAIL - WOOD POSTS	-----			L	LENGTH OF CURVE		
		GUARD RAIL - DOUBLE FACE - STEEL POSTS	-----			LB	LEACH BASIN		
		GUARD RAIL - DOUBLE FACE - WOOD POSTS	-----			LP	LIGHT POLE		
		CHAIN LINK OR METAL FENCE	-----			LT	LEFT		
		WOOD FENCE	-----						

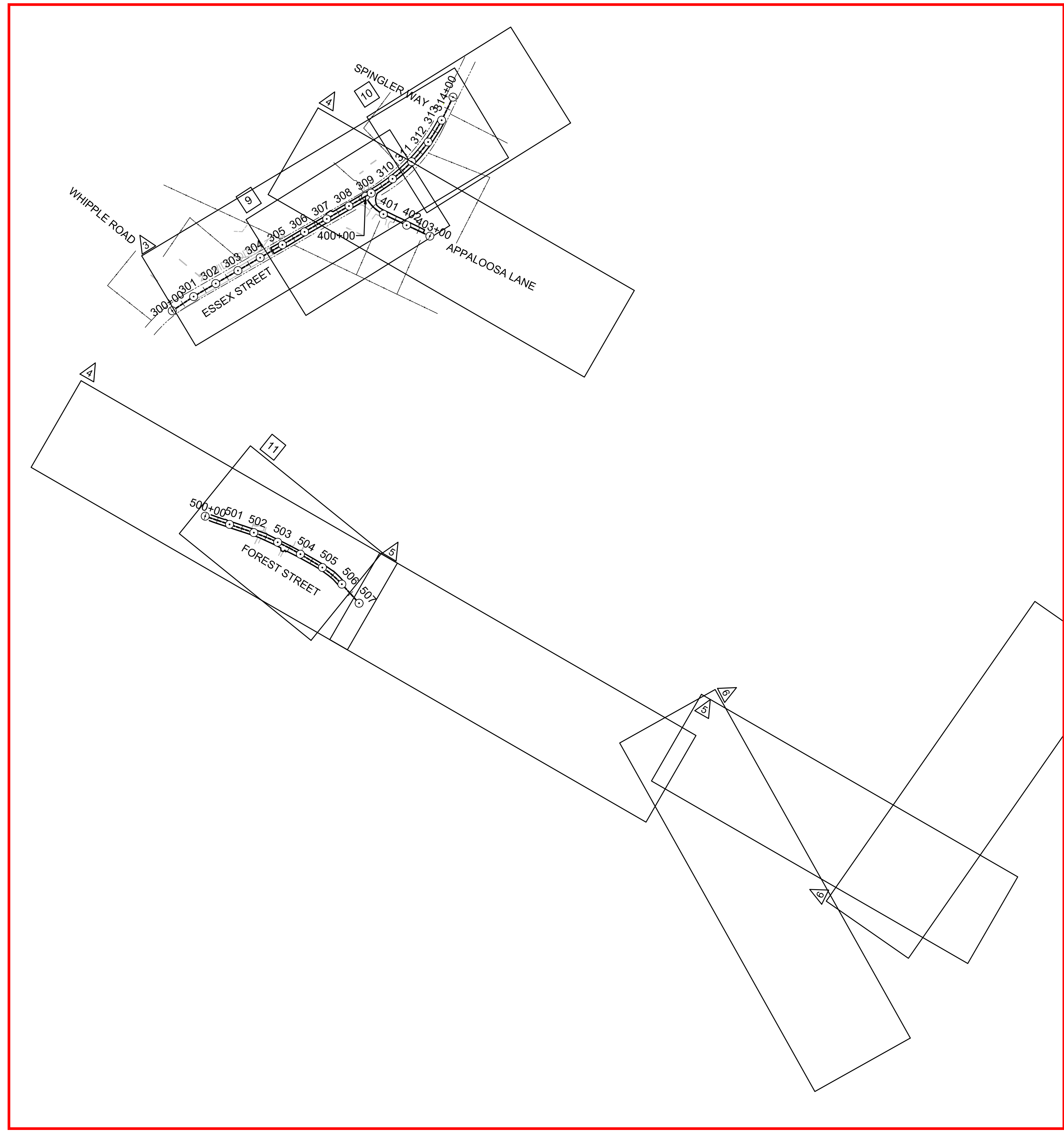


LEGEND

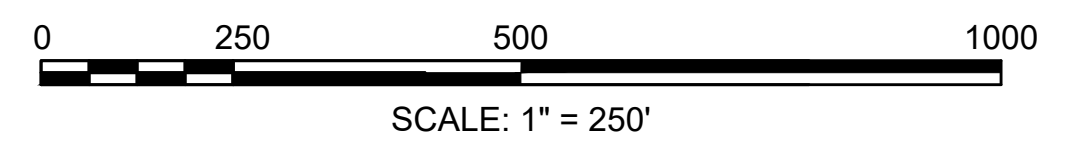
	CONSTRUCTION PLANS
	PAVING OVERVIEW PLANS (SEE PROJECT MANUAL)



SHEETS OMITTED FROM NOTICE OF INTENT

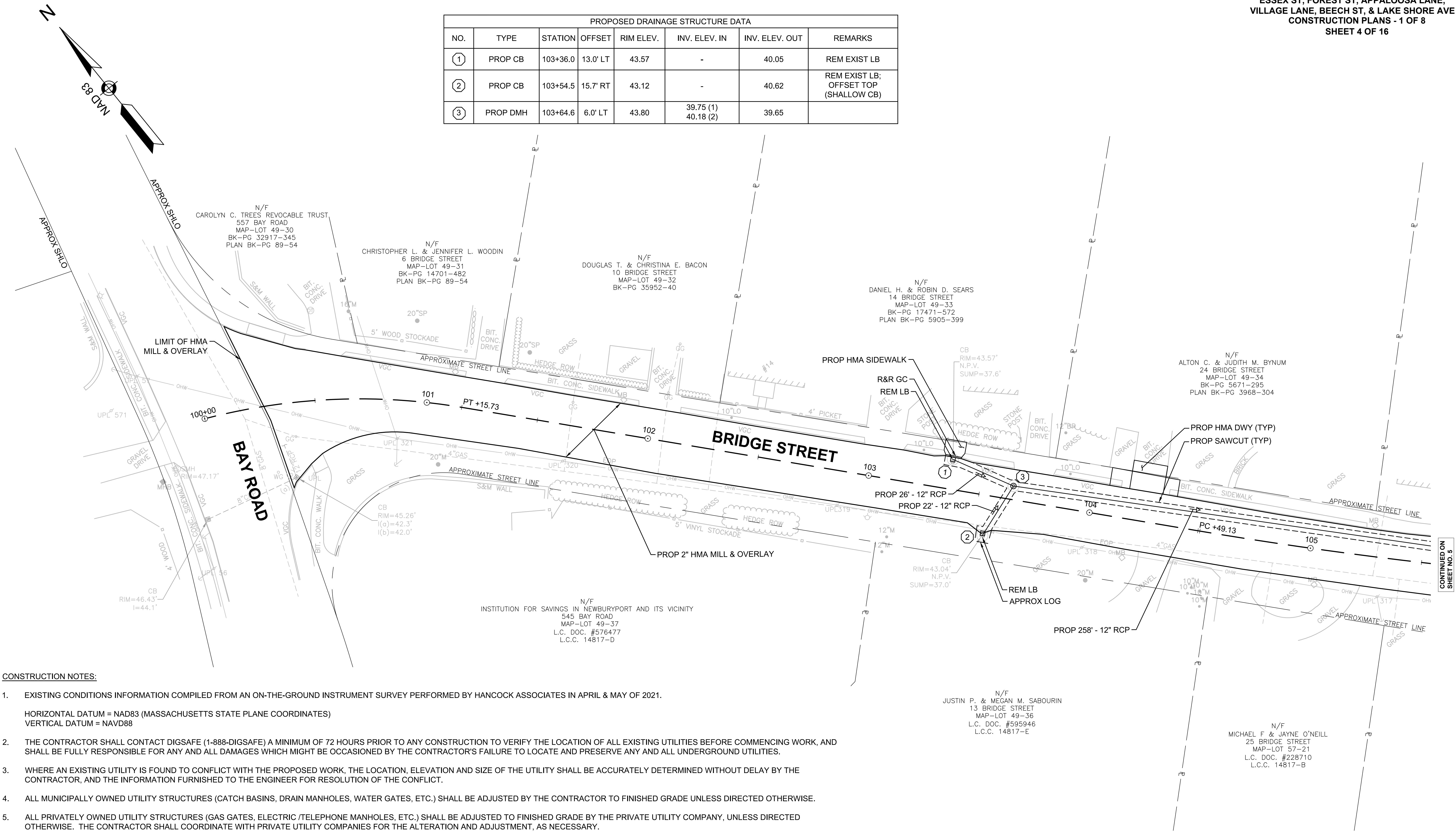


HAMILTON  
BRIDGE ST, MILES RIVER RD,  
ESSEX ST, FOREST ST, APPALOOSA LANE,  
VILLAGE LANE, BEECH ST, & LAKE SHORE AVE  
KEY PLAN  
SHEET 3 OF 16



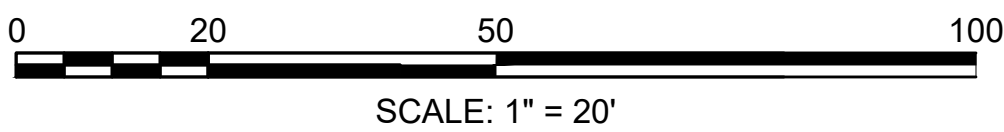


PROPOSED DRAINAGE STRUCTURE DATA							
NO.	TYPE	STATION	OFFSET	RIM ELEV.	INV. ELEV. IN	INV. ELEV. OUT	REMARKS
①	PROP CB	103+36.0	13.0' LT	43.57	-	40.05	REM EXIST LB
②	PROP CB	103+54.5	15.7' RT	43.12	-	40.62	REM EXIST LB; OFFSET TOP (SHALLOW CB)
③	PROP DMH	103+64.6	6.0' LT	43.80	39.75 (1) 40.18 (2)	39.65	



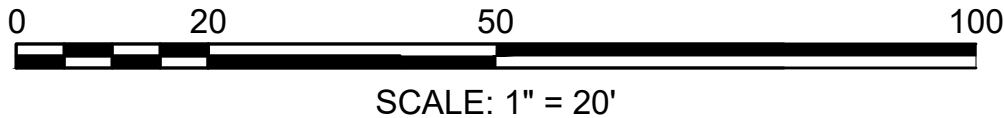
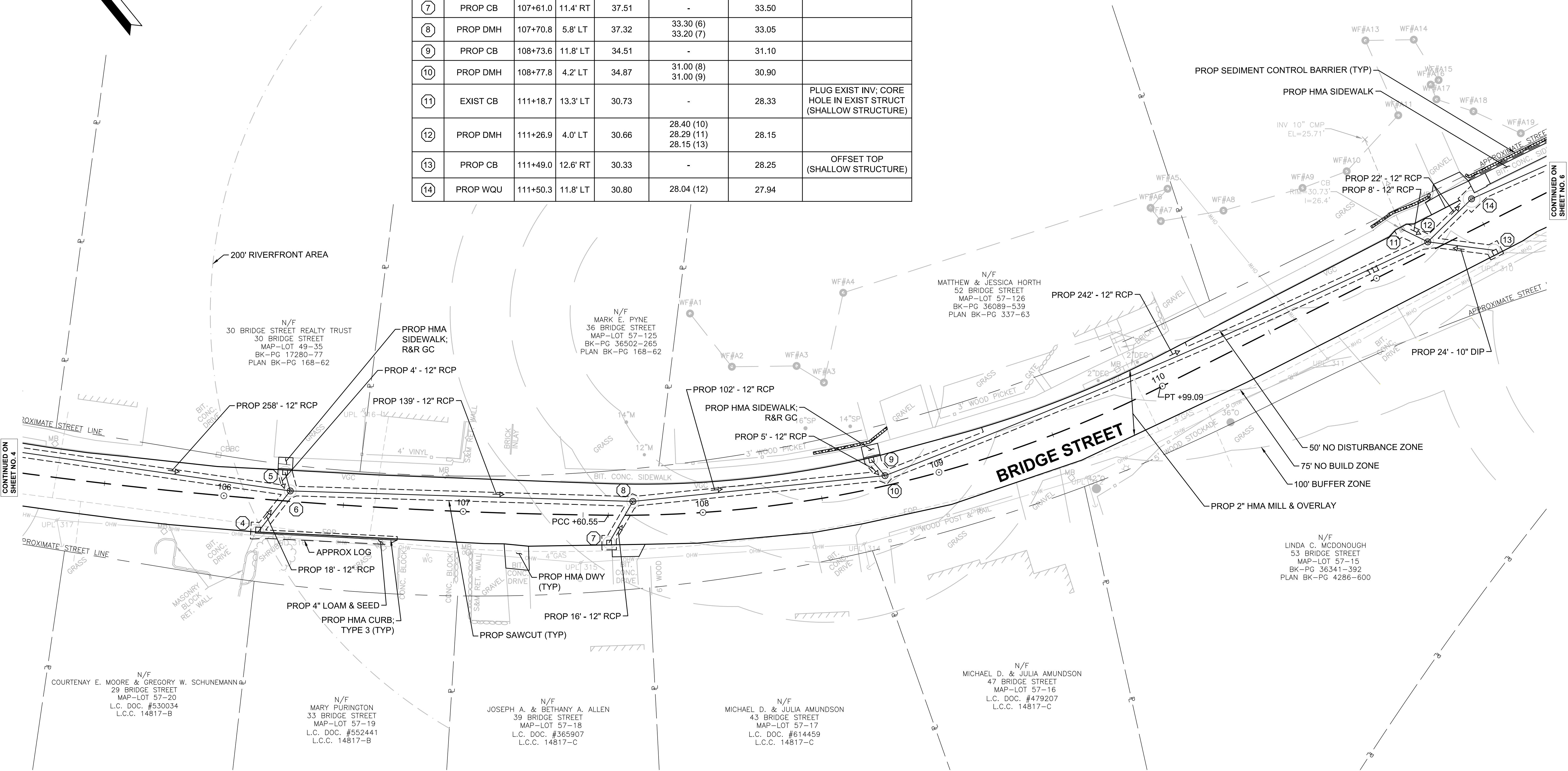
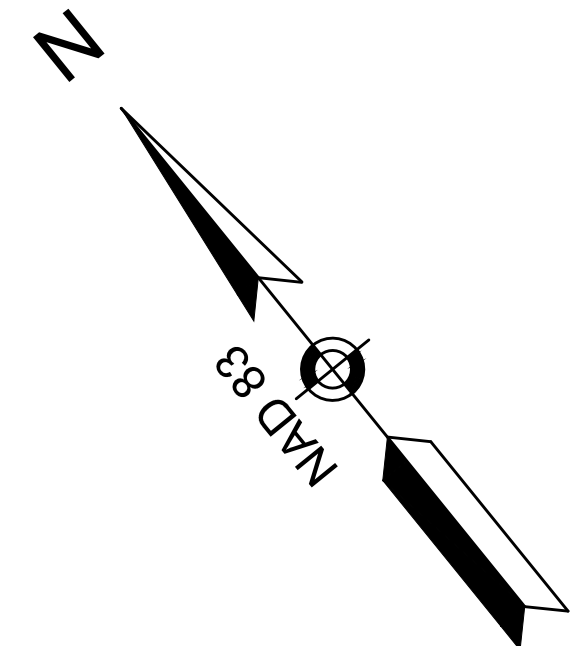
CONSTRUCTION NOTES:

- EXISTING CONDITIONS INFORMATION COMPILED FROM AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY HANCOCK ASSOCIATES IN APRIL & MAY OF 2021.  
HORIZONTAL DATUM = NAD83 (MASSACHUSETTS STATE PLANE COORDINATES)  
VERTICAL DATUM = NAVD88
- THE CONTRACTOR SHALL CONTACT DIGSAFE (1-888-DIGSAFE) A MINIMUM OF 72 HOURS PRIOR TO ANY CONSTRUCTION TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- ALL MUNICIPALLY OWNED UTILITY STRUCTURES (CATCH BASINS, DRAIN MANHOLES, WATER GATES, ETC.) SHALL BE ADJUSTED BY THE CONTRACTOR TO FINISHED GRADE UNLESS DIRECTED OTHERWISE.
- ALL PRIVATELY OWNED UTILITY STRUCTURES (GAS GATES, ELECTRIC /TELEPHONE MANHOLES, ETC.) SHALL BE ADJUSTED TO FINISHED GRADE BY THE PRIVATE UTILITY COMPANY, UNLESS DIRECTED OTHERWISE. THE CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES FOR THE ALTERATION AND ADJUSTMENT, AS NECESSARY.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE.
- THE TERM "PROPOSED" (PROP) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET" (R&R), AS APPROVED BY THE ENGINEER.
- THE TERM "MEET EXIST" MEANS TO MEET BOTH THE EXISTING ALIGNMENT AND ELEVATION.
- ALL EXISTING TREES WITHIN THE PROJECT LIMITS SHALL BE RETAINED UNLESS INDICATED OTHERWISE ON THE DRAWINGS. ALL PROVIDED DIMENSIONS REFER TO THE DIAMETER AT BREAST HEIGHT.
- ALL AREAS BETWEEN THE BACK OF SIDEWALK OR CURB TO THE LIMIT OF GRADING, OR AREAS DISTURBED BY THE CONTRACTORS OPERATIONS SHALL BE RESTORED WITH 4 INCHES OF LOAM AND SEED.



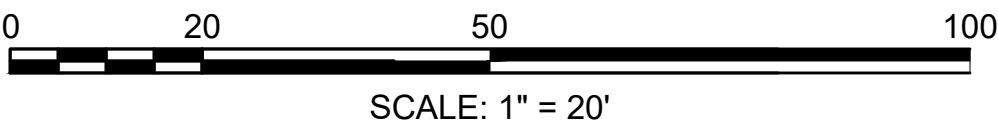
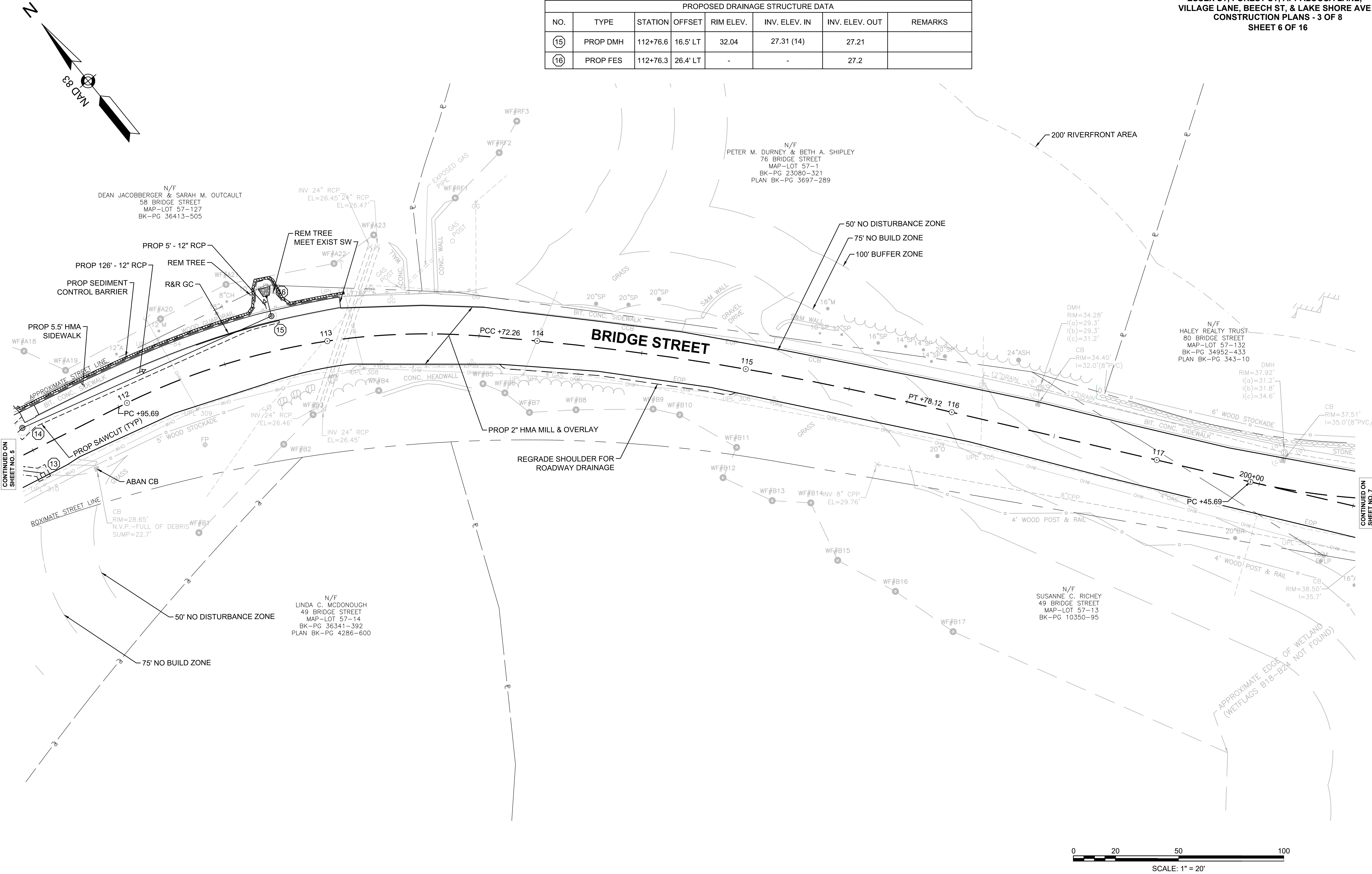
CONTINUED ON  
SHEET NO. 5

PROPOSED DRAINAGE STRUCTURE DATA							
NO.	TYPE	STATION	OFFSET	RIM ELEV.	INV. ELEV. IN	INV. ELEV. OUT	REMARKS
4	PROP CB	106+15.4	13.7' RT	41.70	-	37.70	OFFSET TOP
5	PROP CB	106+24.7	11.9' LT	41.70	-	37.70	
6	PROP DMH	106+27.5	4.3' LT	41.72	36.20 (3) 37.35 (4) 37.60 (5)	36.10	
7	PROP CB	107+61.0	11.4' RT	37.51	-	33.50	
8	PROP DMH	107+70.8	5.8' LT	37.32	33.30 (6) 33.20 (7)	33.05	
9	PROP CB	108+73.6	11.8' LT	34.51	-	31.10	
10	PROP DMH	108+77.8	4.2' LT	34.87	31.00 (8) 31.00 (9)	30.90	
11	EXIST CB	111+18.7	13.3' LT	30.73	-	28.33	PLUG EXIST INV; CORE HOLE IN EXIST STRUCT (SHALLOW STRUCTURE)
12	PROP DMH	111+26.9	4.0' LT	30.66	28.40 (10) 28.29 (11) 28.15 (13)	28.15	
13	PROP CB	111+49.0	12.6' RT	30.33	-	28.25	OFFSET TOP (SHALLOW STRUCTURE)
14	PROP WQU	111+50.3	11.8' LT	30.80	28.04 (12)	27.94	





PROPOSED DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	OFFSET	RIM ELEV.	INV. ELEV. IN	INV. ELEV. OUT
15	PROP DMH	112+76.6	16.5' LT	32.04	27.31 (14)	27.21
16	PROP FES	112+76.3	26.4' LT	-	-	27.2





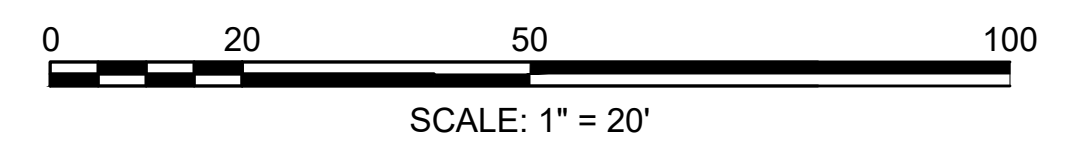
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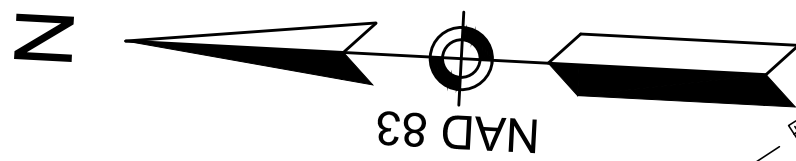
N/F  
BRIDGE STREET DISPOSITION CONDUIT, LLC  
0 BRIDGE STREET  
MAP-LOT 58-53  
BK-PG 38661-444  
PLAN BK-PG 463-99

N/F  
KURT & LESLIE STANTON  
100 BRIDGE STREET  
MAP-LOT 57-3  
BK-PG 38572-351  
PLAN BK-PG 352-93

N/F  
RONALD L. & ELIZABETH K. ROSSETT  
172 MILES RIVER ROAD  
MAP-LOT 57-12  
BK-PG 27719-234  
PLAN BK-PG 5009-205

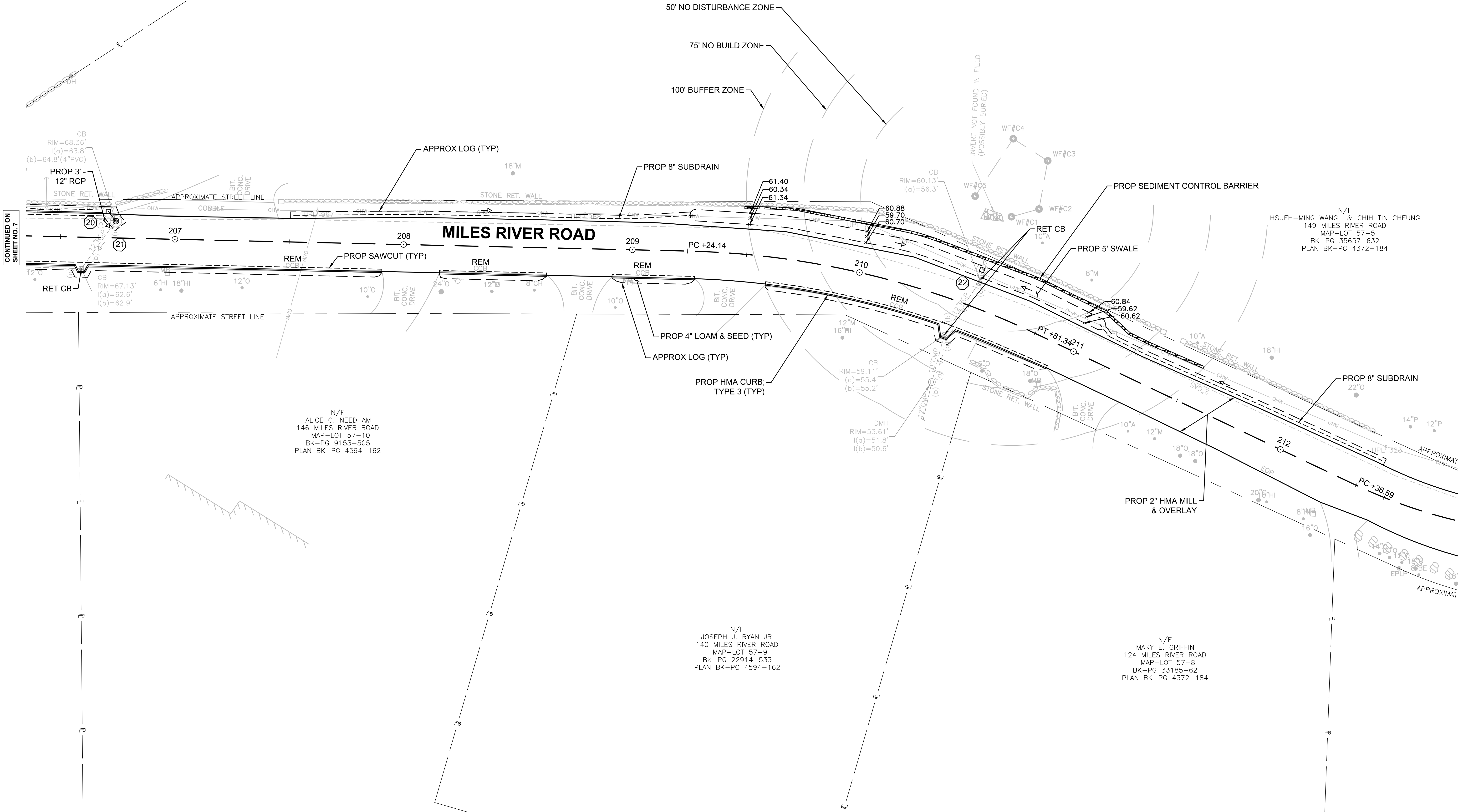
N/F  
SF IRREVOCABLE TRUST  
158 MILES RIVER ROAD  
MAP-LOT 57-11  
BK-PG 31447-174  
PLAN BK-PG 5009-205





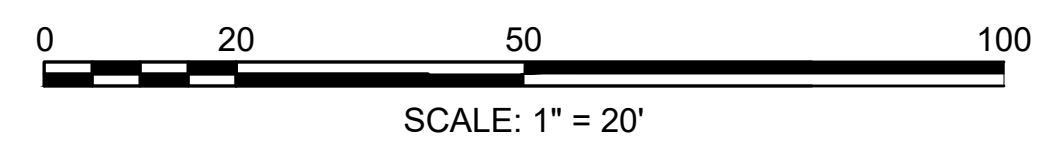
PROPOSED DRAINAGE STRUCTURE DATA							
NO.	TYPE	STATION	OFFSET	RIM ELEV.	INV. ELEV. IN	INV. ELEV. OUT	REMARKS
22	PROP DI	210+50.0	16.6' LT	60.39	MATCH EXIST	MATCH EXIST	

HAMILTON  
BRIDGE ST, MILES RIVER RD,  
ESSEX ST, FOREST ST, APPALOOSA LANE,  
VILLAGE LANE, BEECH ST, & LAKE SHORE AVE  
CONSTRUCTION PLANS - 5 OF 8  
SHEET 8 OF 16

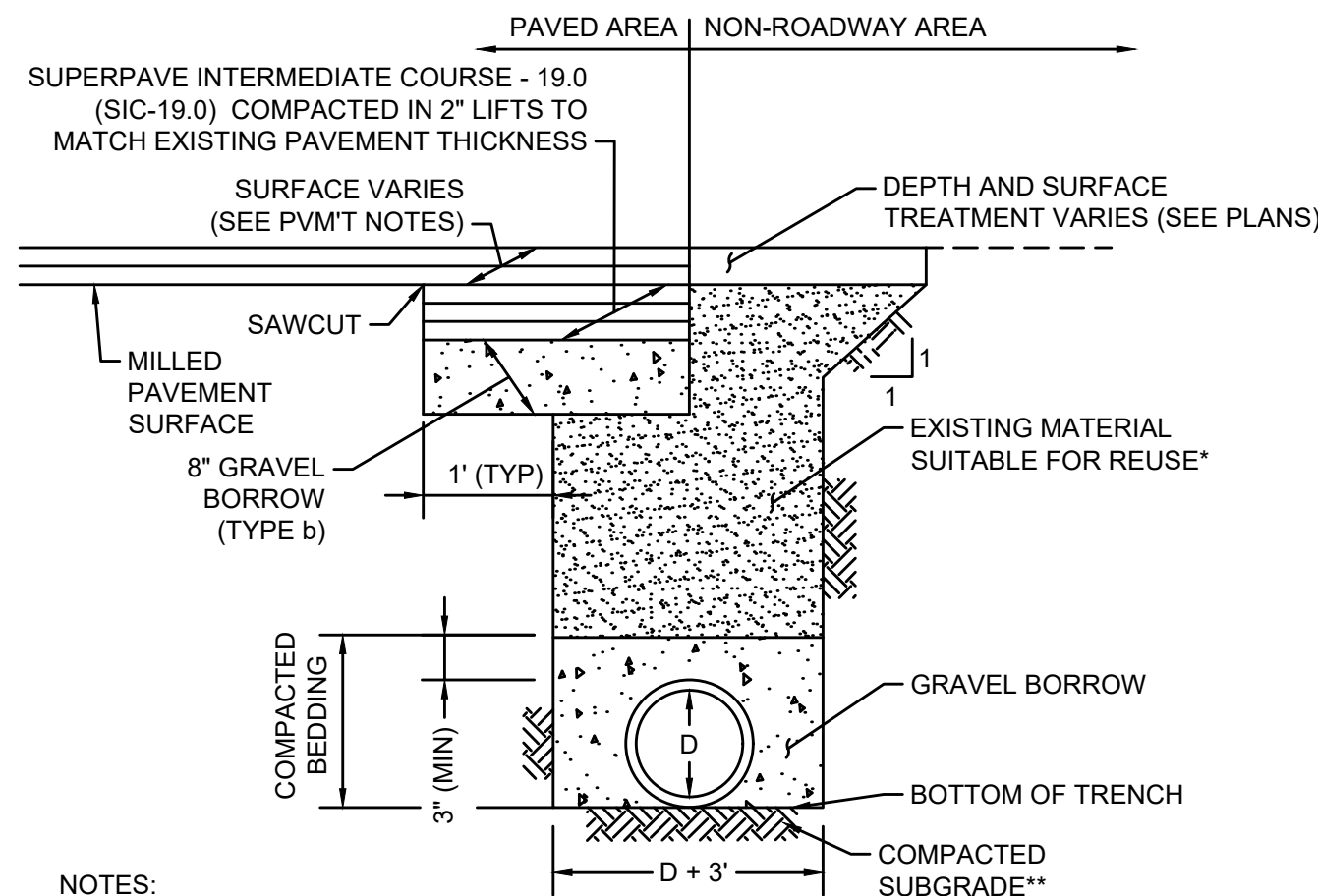


CONTINUED ON  
SHEET NO. 7

REFER TO PAVING OVERVIEW  
PLANS FOR CONTINUATION





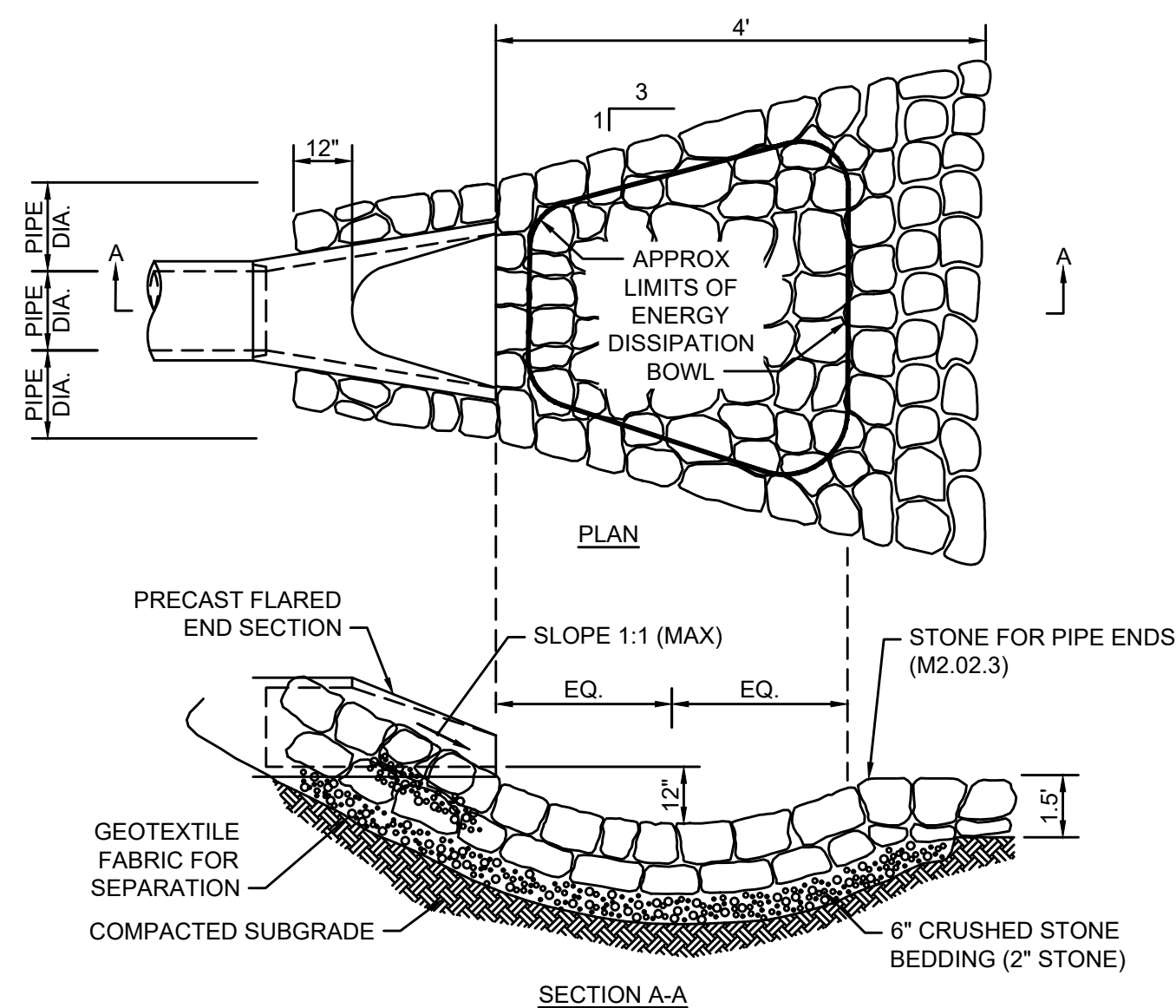


NOTES:

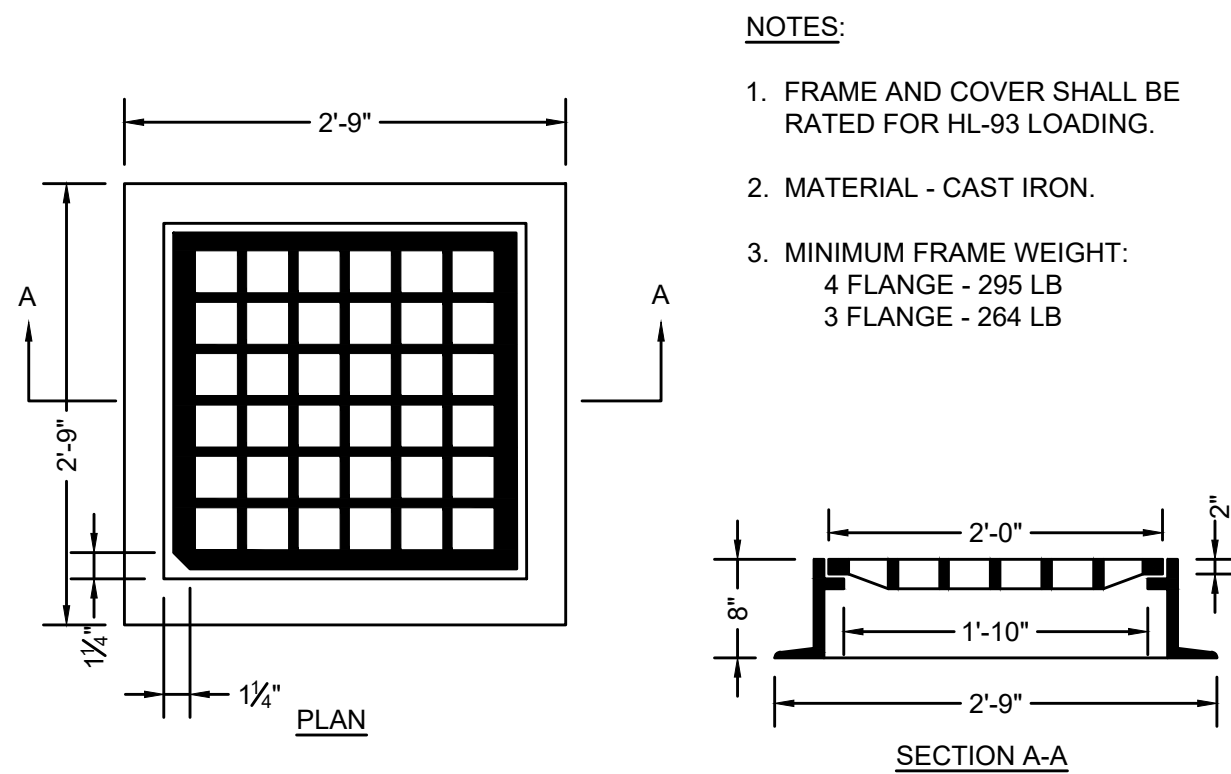
\* EXISTING MATERIAL OBTAINED FROM EXCAVATION THAT IS DETERMINED TO BE SUITABLE, AND APPROVED BY THE ENGINEER SHALL BE USED. BACKFILL SHALL BE PLACED IN LAYERS NO MORE THAN 6" IN DEPTH AND THOROUGHLY COMPACTED. BACKFILLING TO A POINT 2' OVER THE PIPE SHALL CONTAIN NO STONES LARGER THAN 3".

\*\*SOFT OR UNSUITABLE MATERIAL EXISTING BELOW THE REQUIRED BEDDING GRADE SHALL BE REMOVED AS DIRECTED AND REPLACED WITH SAND, GRAVEL, CRUSHED STONE OR OTHER SUITABLE MATERIAL AND THOROUGHLY COMPACTED.

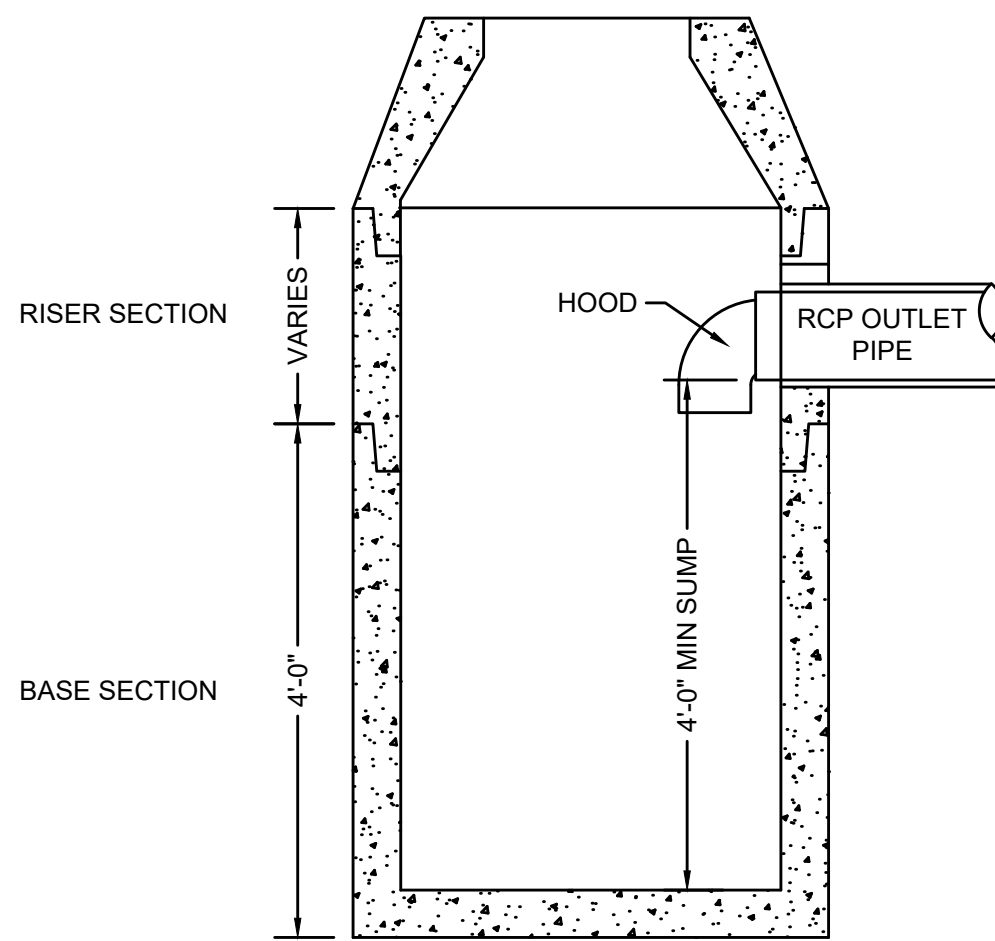
UTILITY TRENCH  
N.T.S.



STONE AT FLARED END SECTION  
N.T.S.



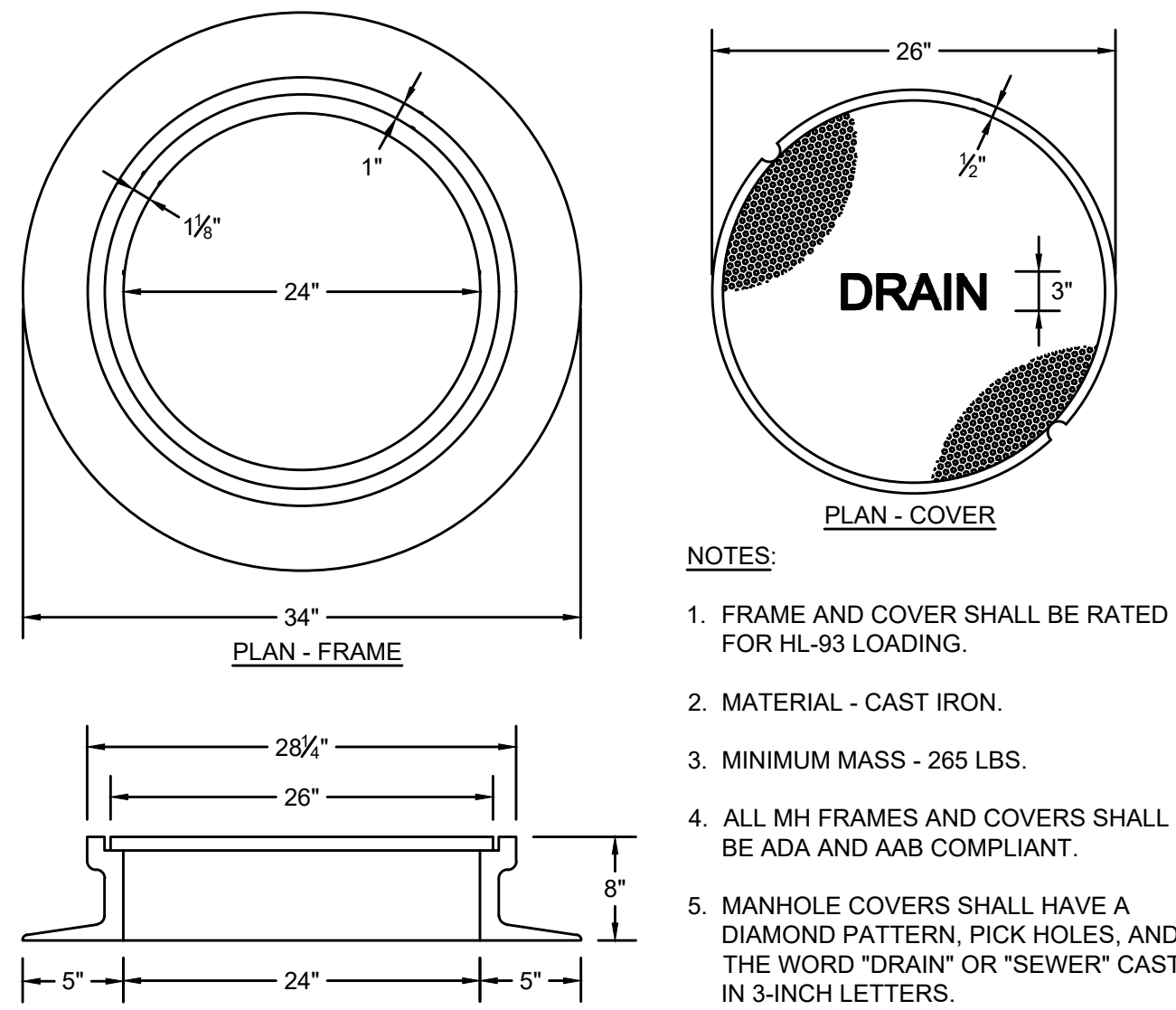
CATCH BASIN FRAME & GRATE (MUNICIPAL STANDARD)  
N.T.S.



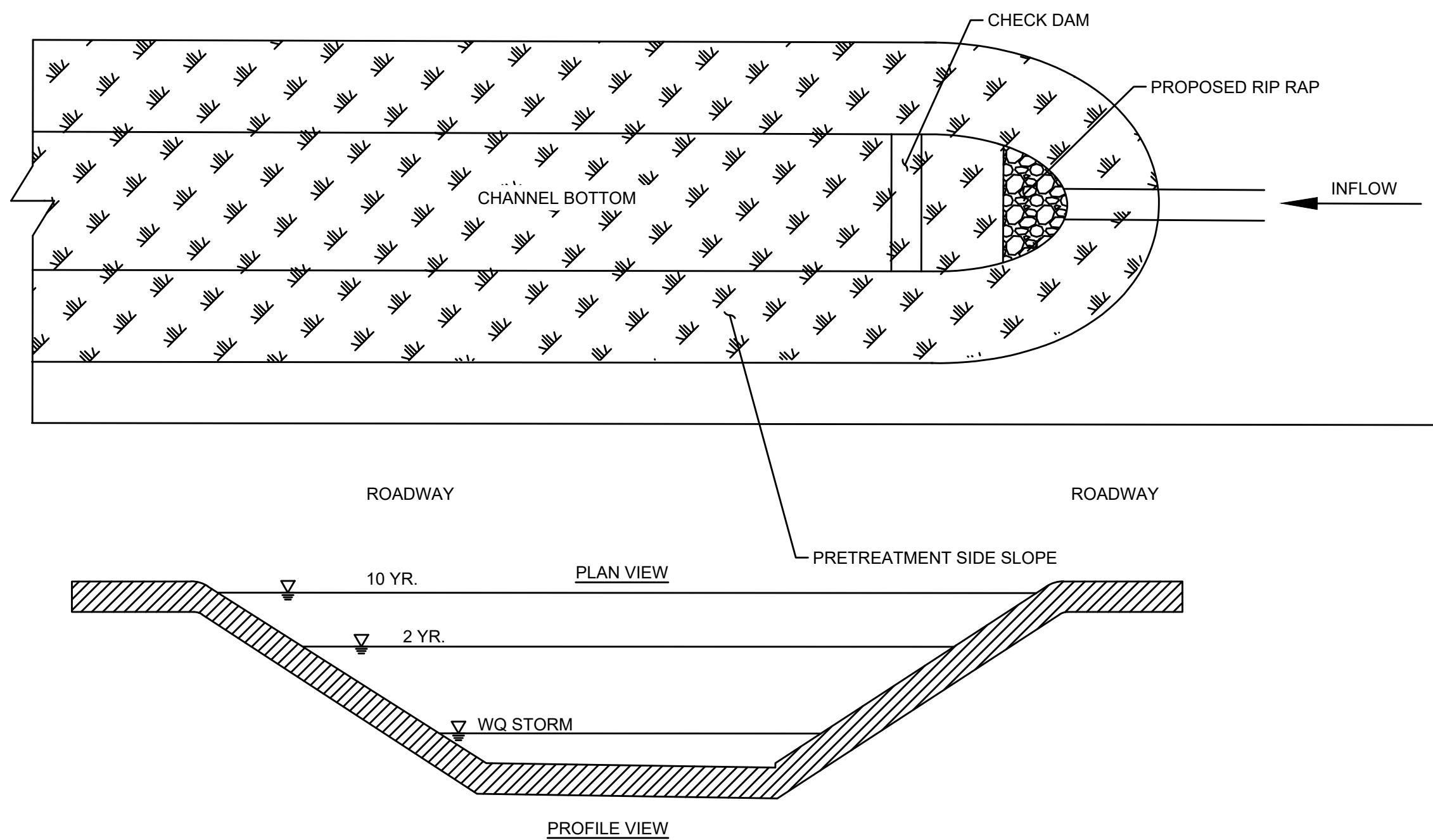
NOTE:

ALL CATCH BASINS SHALL CONFORM TO MASSDOT CONSTRUCTION STANDARD E 201.4.0 EXCEPT FOR 4' SUMP DEPTH AS SHOWN

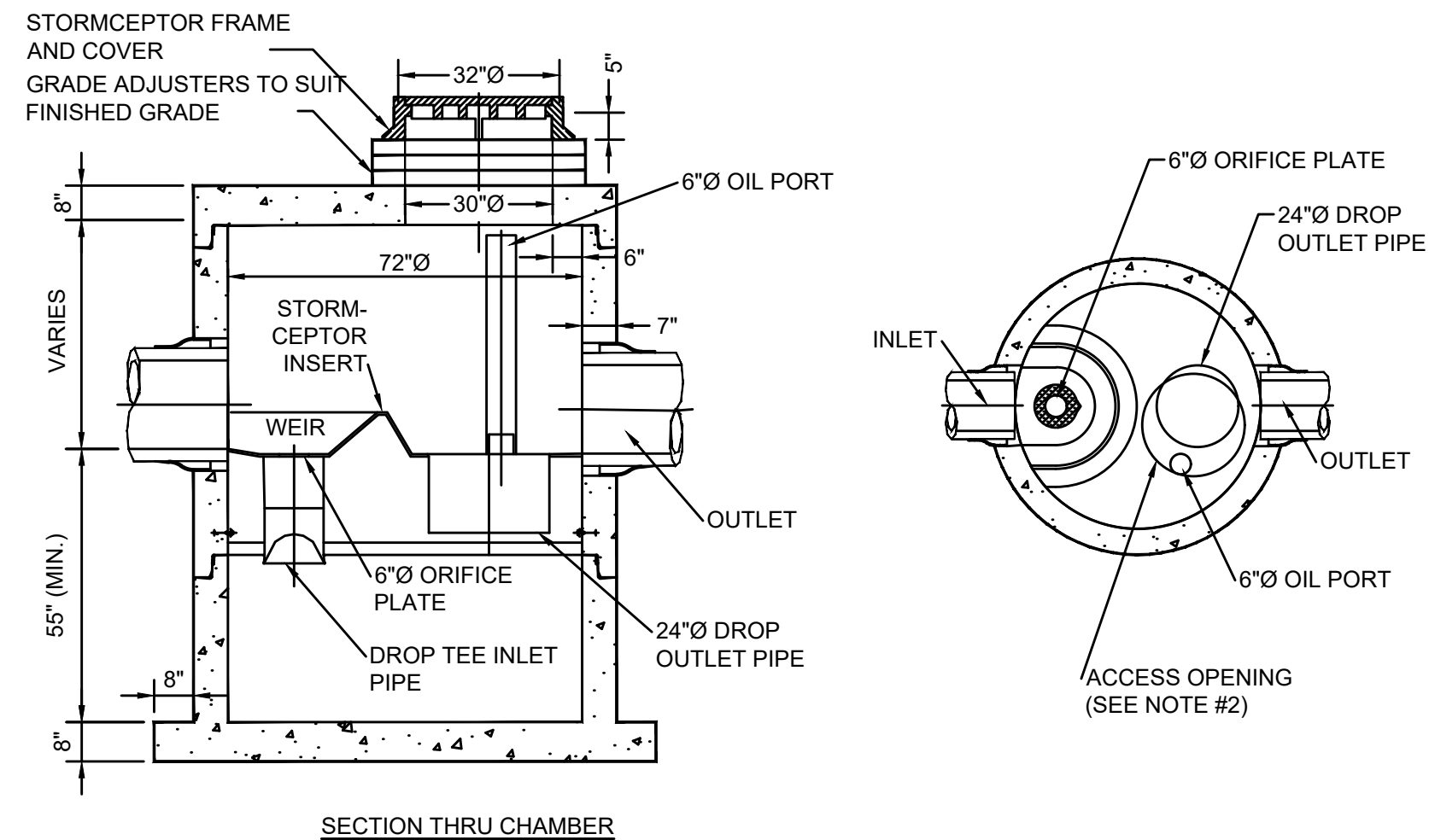
DEEP SUMP CATCH BASIN WITH HOOD  
N.T.S.



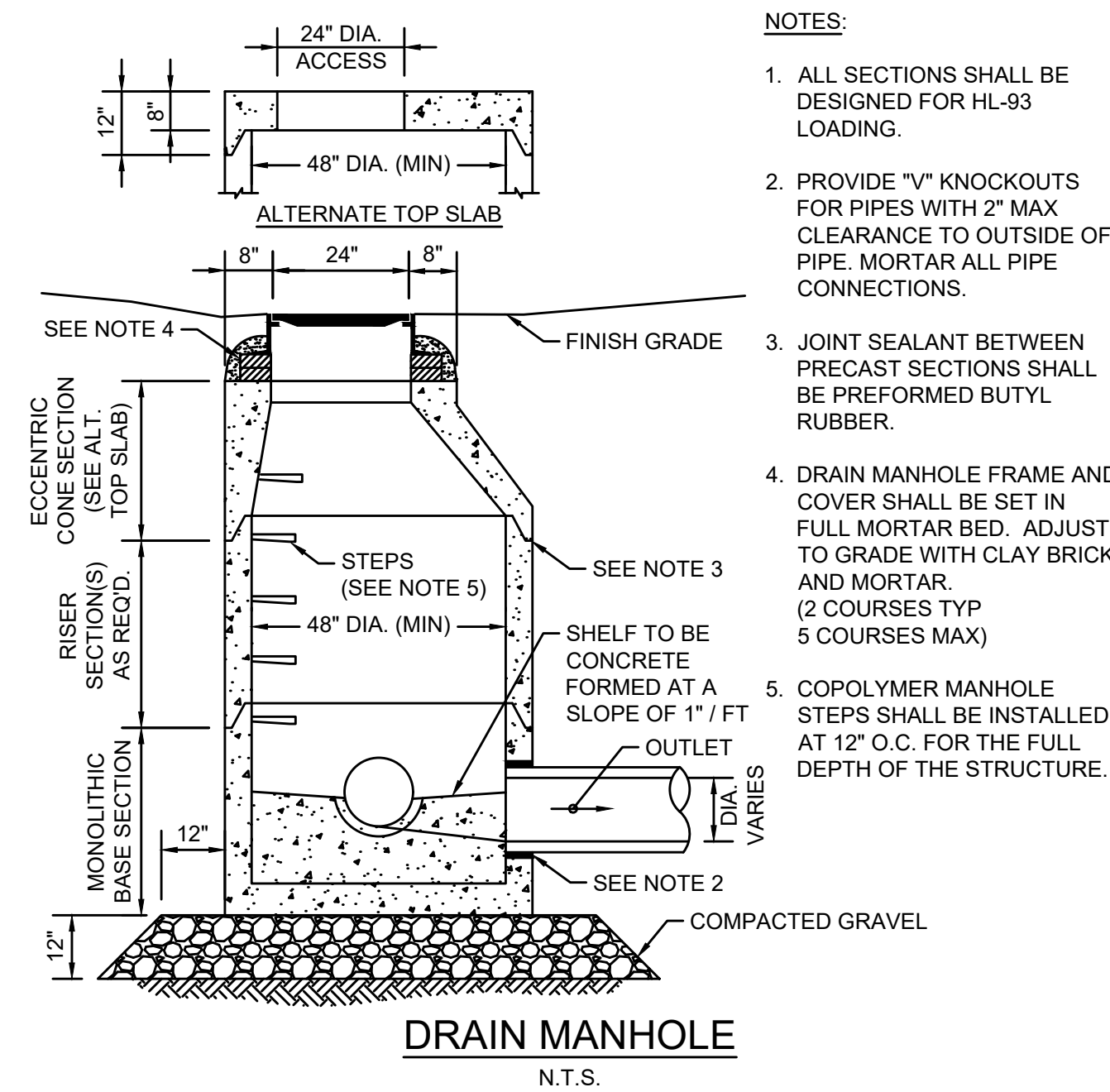
MANHOLE FRAME & COVER  
N.T.S.



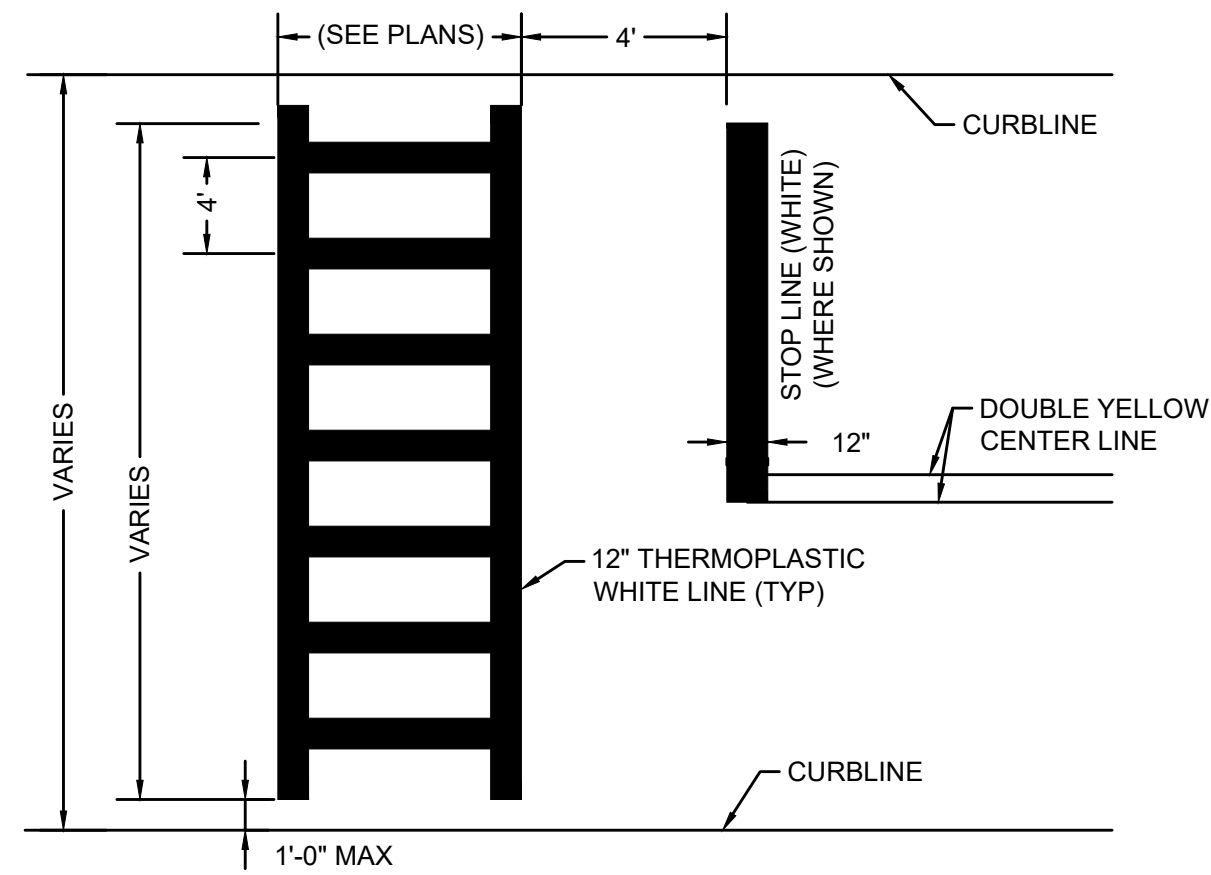
DRAINAGE SWALE  
N.T.S.



STC 900 PRECAST CONCRETE STORMCEPTOR<sup>®</sup> (900 U.S. GALLON CAPACITY)  
N.T.S.



DRAIN MANHOLE  
N.T.S.



NOTES:

1. ALL 12" LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6" LINES) WILL BE ACCEPTED.

2. LAYOUT OF CROSSWALKS SHALL BE APPROVED BY THE ENGINEER PRIOR TO APPLICATION.

CROSSWALK PAVEMENT MARKING  
N.T.S.

NOTES:

1. THE USE OF FLEXIBLE CONNECTION IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.

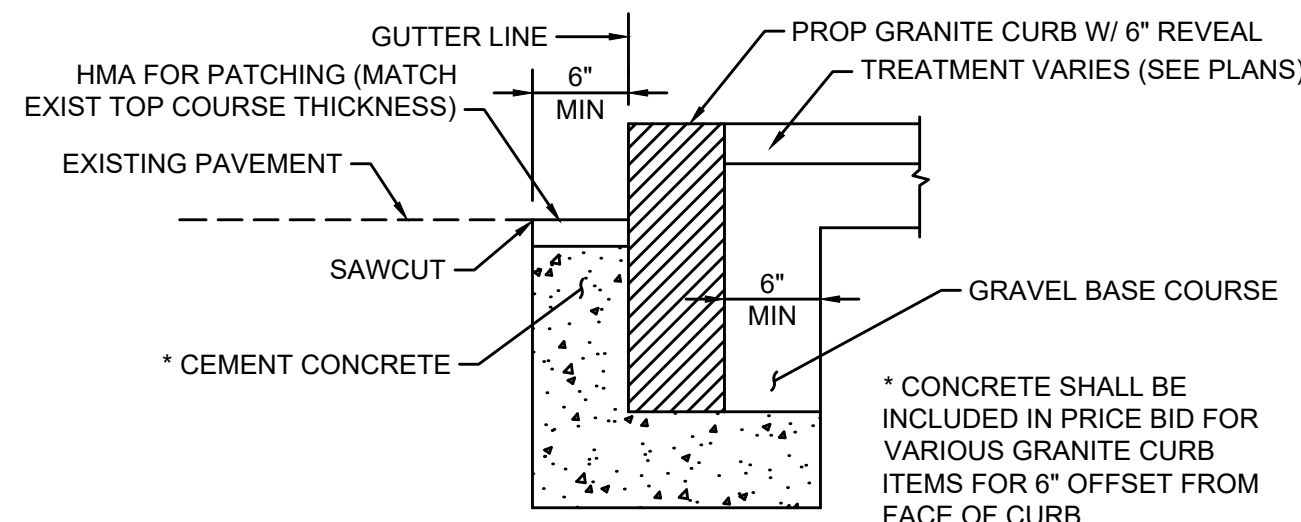
2. THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE OIL PORT.

3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: # 4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.

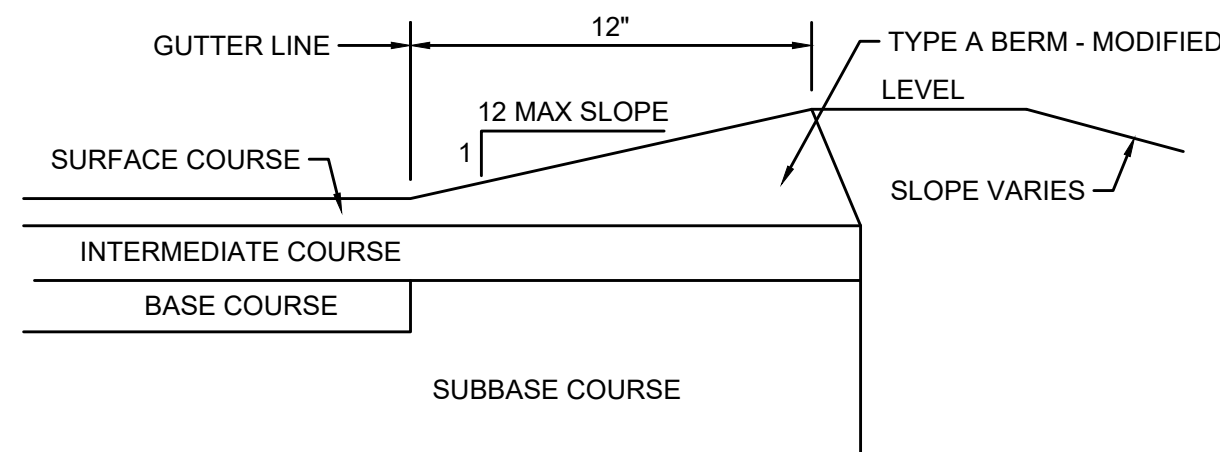
4. CONTACT A CONCRETE PIPE DIVISION REPRESENTATIVE FOR FURTHER DETAILS NOT LISTED ON THIS DRAWING.

5. A COMPARABLE PRODUCT MAY BE PROPOSED BY THE CONTRACTOR, BUT ITS USE REQUIRES APPROVAL BY THE ENGINEER OF RECORD.

SOURCE:  
WWW.STORMCEPTOR.COM

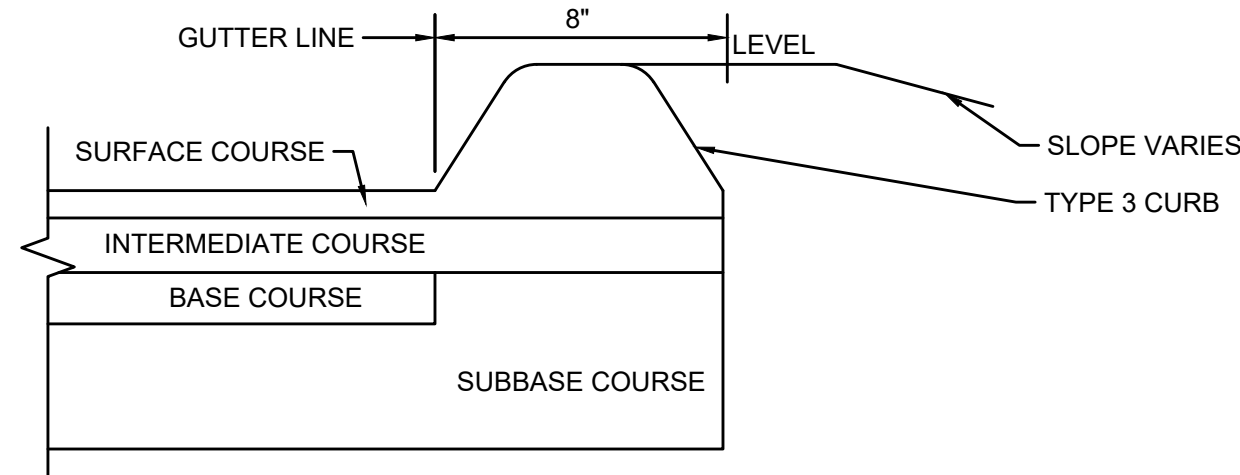


GRANITE CURB IN EXISTING PAVEMENT  
N.T.S.



FOR ALL OTHER DIMENSIONS, SEE MASSDOT E 106.1.0

MONOLITHIC BERM  
N.T.S.

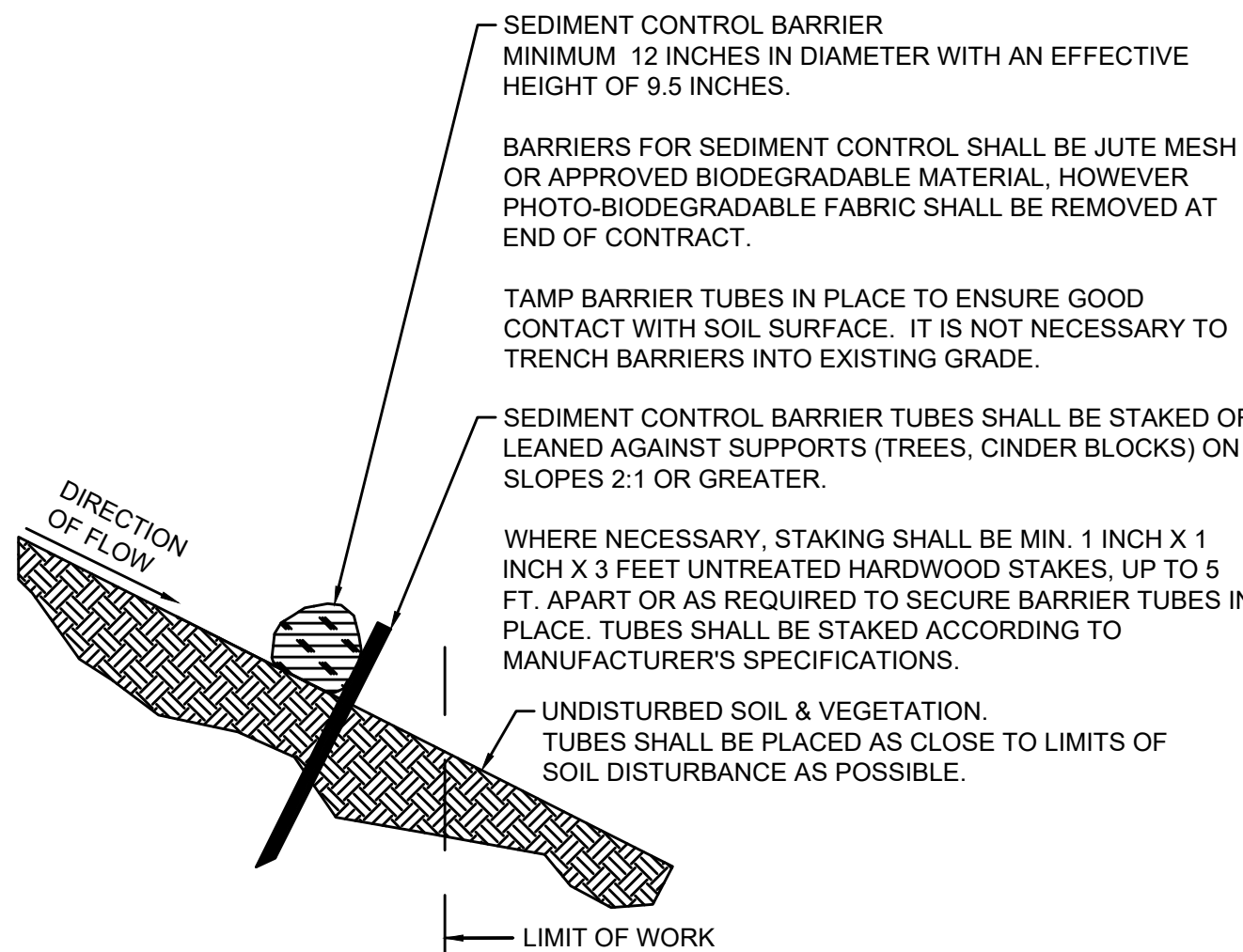


FOR ALL OTHER DIMENSIONS, SEE MASSDOT E 106.1.0

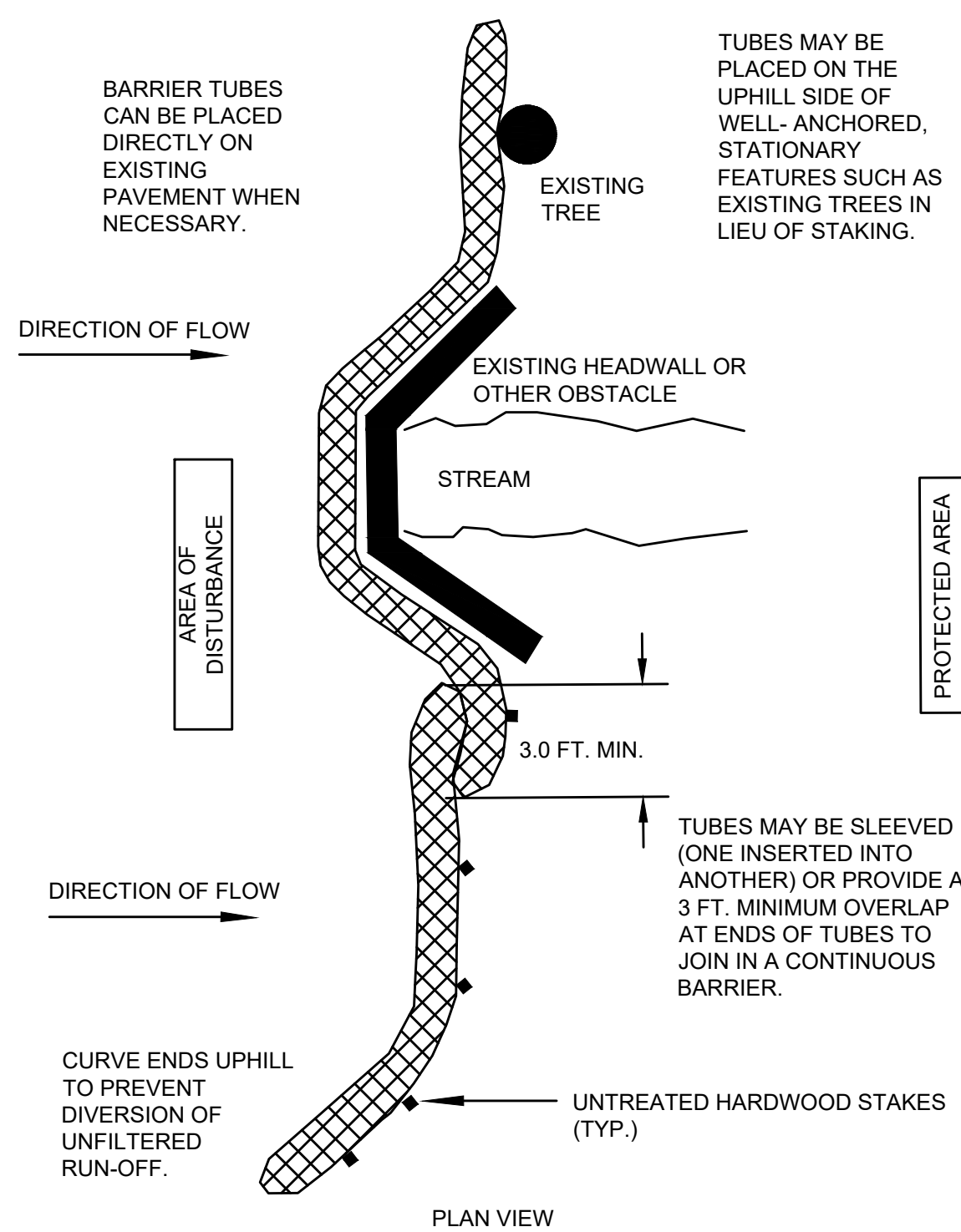
HMA CURB TYPE 3  
N.T.S.

NOTES:

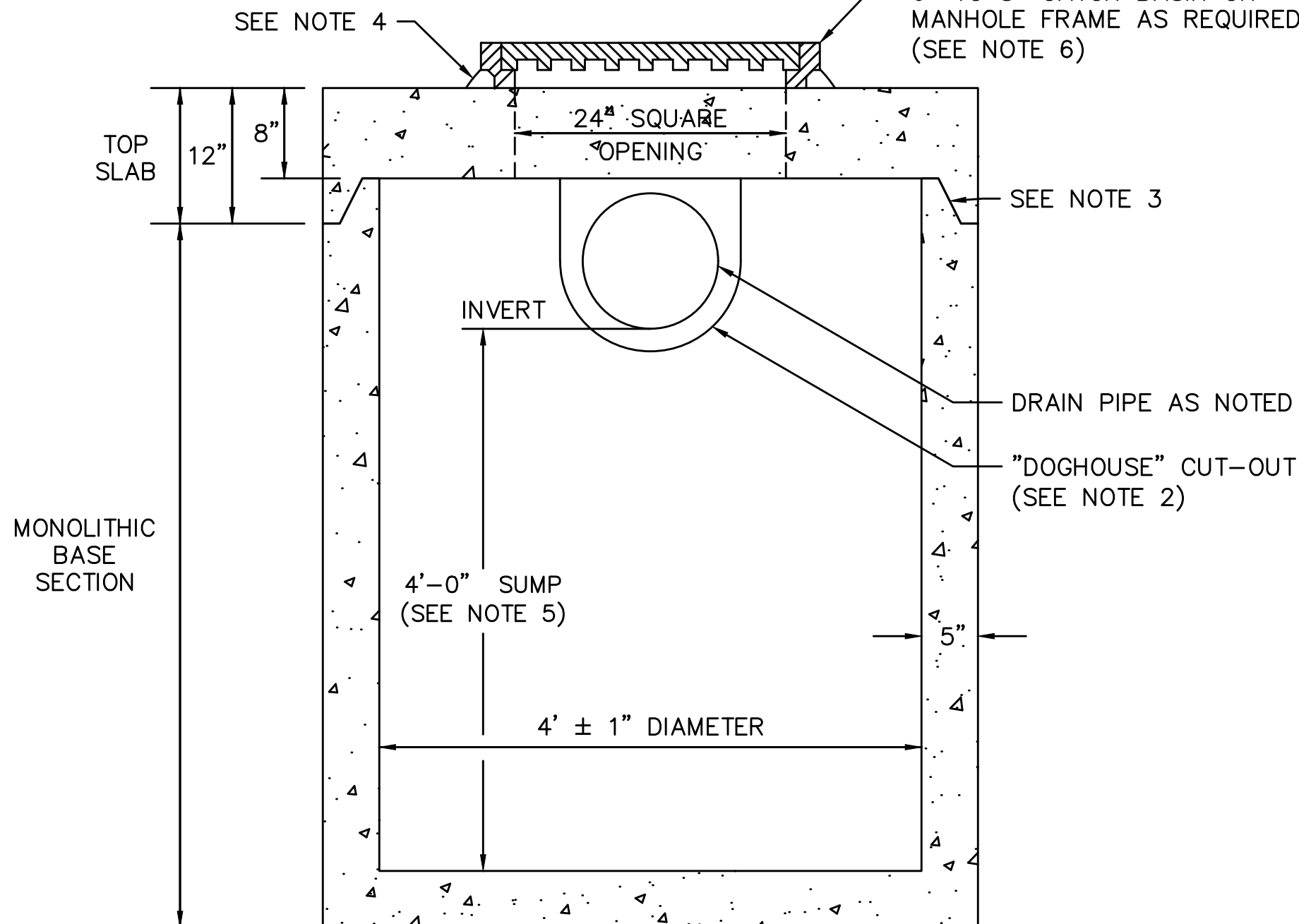
1. PROVIDE A MINIMUM BARRIER TUBE DIAMETER OF 12 INCHES FOR SLOPES UP TO 50 FEET IN LENGTH WITH A SLOPE RATIO OF 3H:1V OR STEEPER. LONGER SLOPES OF 3H:1V MAY REQUIRE LARGER TUBE DIAMETER OR ADDITIONAL COURSING OF TUBES TO CREATE A FILTER BERM. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR SITUATIONS WITH LONGER OR STEEPER SLOPES.
2. INSTALL BARRIER TUBES ALONG CONTOURS AND PERPENDICULAR TO SHEET OR CONCENTRATED FLOW.
3. TUBE LOCATION MAY BE SHIFTED TO ADJUST TO LANDSCAPE FEATURES, BUT SHALL PROTECT UNDISTURBED AREA AND VEGETATION TO MAXIMUM EXTENT POSSIBLE. DO NOT INSTALL IN PERENNIAL, EPHEMERAL OR INTERMITTENT STREAMS.
4. ADDITIONAL BARRIER TUBES SHALL BE USED AT THE DIRECTION OF THE ENGINEER.
5. ADDITIONAL STAKING SHALL BE USED AT THE DIRECTION OF THE ENGINEER.



SEDIMENT CONTROL BARRIER  
N.T.S.



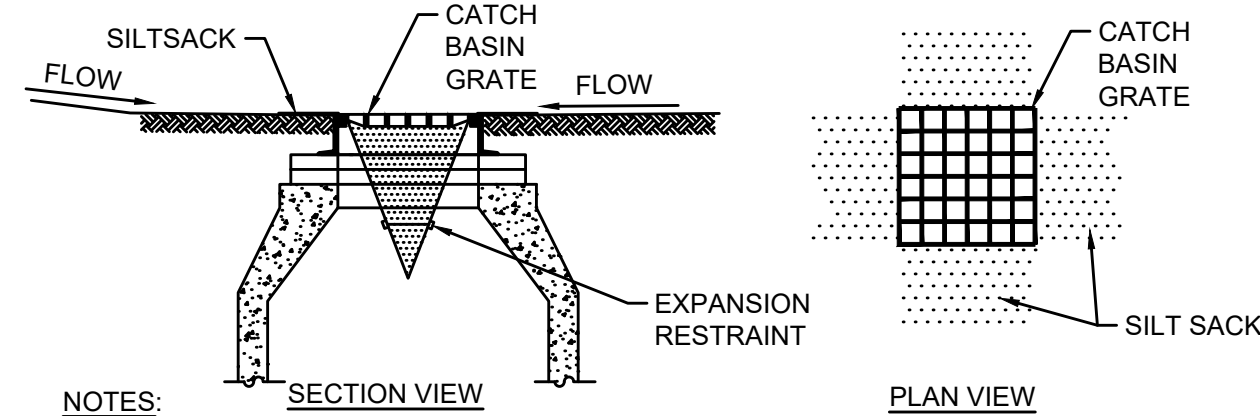
TYPICAL SUBDRAIN PLACEMENT  
N.T.S.



NOTES:

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. PROVIDE DOGHOUSE OPENING FOR PIPE WITH 2" MAX CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON PIPE. GROUT ALL PIPE CONNECTIONS WITH NON-SHRINK GROUT.
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
4. CATCH BASIN AND MANHOLE FRAMES SHALL BE SET IN FULL MORTAR BED.
5. OMIT 4' SUMP FOR MANHOLE STRUCTURES.
6. FRAME ELEVATION SHALL BE INSTALLED AT FINISH GRADE USING VARIABLE FRAME DEPTHS AND VARIABLE HEIGHT BRICK COURSES.

SPECIAL CATCH BASIN/MANHOLE (SHALLOW)  
NOT TO SCALE



NOTES:

1. INSTALL SILT SACK IN EXISTING CATCH BASINS BEFORE COMMENCING WORK, AND IN NEW CATCH BASINS IMMEDIATELY AFTER INSTALLATION OF STRUCTURE. MAINTAIN UNTIL BINDER COURSE PAVING IS COMPLETE OR A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED.
2. GRATE TO BE PLACED OVER SILT SACK.
3. SILT SACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.

INLET PROTECTION SILT SACK IN CATCH BASIN  
N.T.S.

PAVEMENT NOTES

PROPOSED MILL & HOT MIX ASPHALT (HMA) OVERLAY

SURFACE: 2" SUPERPAVE SURFACE COURSE - 12.5 (SSC-12.5) OVER ASPHALT EMULSION TACK COAT OVER 2" PAVEMENT FINE MILLING

PROPOSED FULL DEPTH PAVEMENT LESS THAN 4' WIDE

SURFACE: 2" SUPERPAVE SURFACE COURSE - 12.5 (SSC-12.5) OVER ASPHALT EMULSION TACK COAT OVER

BASE: 6" HIGH EARLY STRENGTH CEMENT CONCRETE BASE COURSE OVER

SUBBASE: 12" GRAVEL BORROW , TYPE b

PROPOSED PERMANENT PAVEMENT TRENCH PATCH

SURFACE: VARIABLE DEPTH HMA FOR PATCHING TO MATCH EXISTING PAVEMENT PER SECTION 450.53 (COMPACTED IN 2" (MAX) LIFTS TO MATCH EXIST PAVEMENT THICKNESS)

BASE: 8" GRAVEL BORROW, TYPE b OVER

SUBBASE: EXISTING MATERIAL SUITABLE FOR RE-USE (SEE VARIOUS TRENCH DETAILS)

PROPOSED TEMPORARY PAVEMENT TRENCH PATCH

SURFACE: 2½" TEMPORARY ASPHALT PATCHING

BASE: EXISTING MATERIAL SUITABLE FOR RE-USE (SEE VARIOUS TRENCH DETAILS)

PROPOSED HMA SIDEWALK

SURFACE: 1¼" SUPERPAVE SURFACE COURSE 9.5 (SSC -9.5) OVER 1¼" SUPERPAVE INTERMEDIATE COURSE 12.5 (SIC - 12.5) OVER

BASE: 8" SUITABLE EXISTING GRAVEL; ADD GRAVEL BORROW, TYPE b AS REQUIRED

PROPOSED DRIVEWAY APRON REPAIR

SURFACE: 1½" SUPERPAVE SURFACE COURSE 9.5 (SSC -9.5) OVER 2½" SUPERPAVE INTERMEDIATE COURSE 12.5 (SIC - 12.5) OVER

BASE: 8" SUITABLE EXISTING GRAVEL; ADD GRAVEL BORROW, TYPE b AS REQUIRED

GENERAL PAVEMENT NOTES:

1. ASPHALT EMULSION FOR TACK COAT SHALL BE APPLIED BETWEEN ALL ASPHALT SURFACES AND SAWCUT JOINTS BEFORE PAVING. HMA JOINT SEALANT SHALL BE APPLIED TO ALL COLD JOINTS (LONGITUDINAL AND TRANSVERSE) BEFORE PAVING SURFACE COURSE. ASPHALT EMULSION FOR TACK COAT SHALL BE APPLIED IN ACCORDANCE WITH SUBSECTION 450.43. ALL SURFACES SHALL BE CLEAN OF ALL ORGANICS, DEBRIS, AND SAND PRIOR TO PAVING.
2. ALL HMA SHALL BE IN ACCORDANCE WITH SECTION 460.
3. ASPHALT EMULSION FOR TACK COAT SHALL BE RS-1H TO RESIST TRACKING OF TACK BY HAUL VEHICLES.
4. HMA FOR WALKS SHALL BE IN ACCORDANCE WITH SECTION 702.
5. ALL GRAVEL BORROW MEETING SPECIFICATION SHALL BE RETAINED IN PLACE, COMPACTED, AND LEVELED AS REQUIRED.

# 2024 ROAD IMPROVEMENTS PROJECT

HAMILTON  
BRIDGE STREET & MILES RIVER ROAD  
TITLE SHEET & INDEX  
SHEET 1 OF 14

PLAN OF

## BRIDGE STREET & MILES RIVER ROAD

IN THE TOWN OF

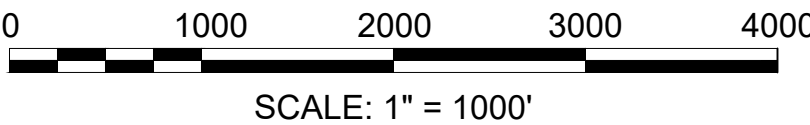
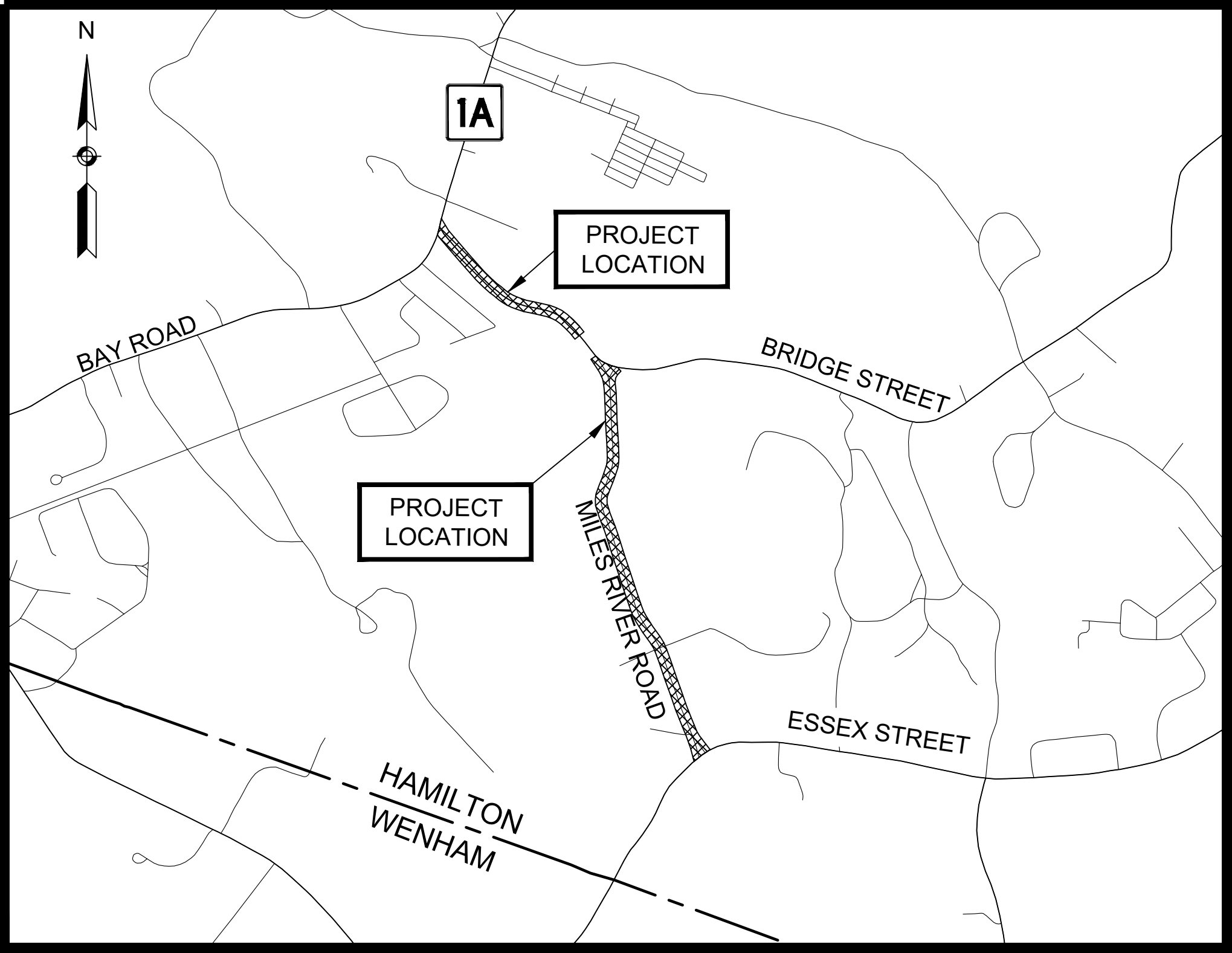
## HAMILTON

## ESSEX COUNTY

THESE PLANS ARE SUPPLEMENTED BY THE MASSDOT OCTOBER 2017 CONSTRUCTION STANDARD DETAILS, THE MASSDOT 2015 OVERHEAD SIGNAL STRUCTURE AND FOUNDATION STANDARD DRAWINGS, THE MASSDOT TRAFFIC MANAGEMENT PLANS AND DETAIL DRAWINGS, THE MASSDOT WORKZONE SAFETY TEMPORARY TRAFFIC CONTROL, THE MASSDOT 1996 CONSTRUCTION AND TRAFFIC STANDARD DETAILS (AS RELATES TO THE PAVEMENT MARKING DETAILS ONLY), THE 2023 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE STANDARD MUNICIPAL TRAFFIC CODE, THE MASSDOT 1990 STANDARD DRAWINGS FOR SIGNS AND SUPPORTS, THE MASSDOT 1968 STANDARD DRAWINGS FOR TRAFFIC SIGNALS AND HIGHWAY LIGHTING, AND THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK.


### INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET & INDEX
2	LEGEND & ABBREVIATIONS
3	CONSTRUCTION NOTES
4	KEY PLAN
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13-14	CONSTRUCTION DETAILS



LENGTH OF PROJECT ALONG BRIDGE STREET = 1385 FEET = 0.262 MILES  
LENGTH OF PROJECT ALONG MILES RIVER ROAD = 3545 FEET = 0.671 MILES

2/28/2025	NOI SUBMITTAL	-
DATE	DESCRIPTION	REV #

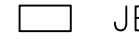
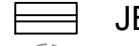
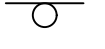

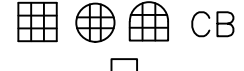

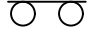
















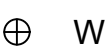
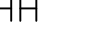



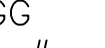

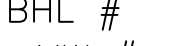







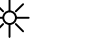
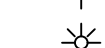


























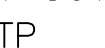
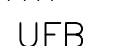


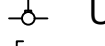

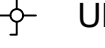

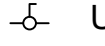








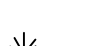
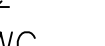

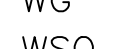
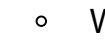




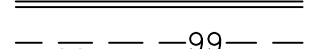
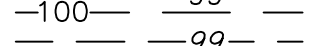



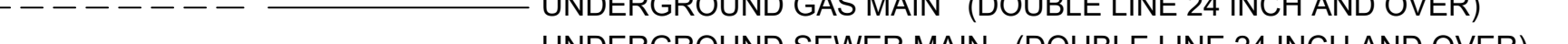


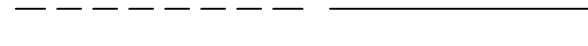
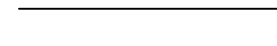


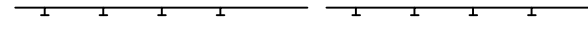
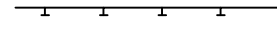
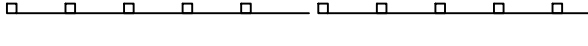
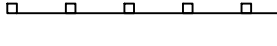
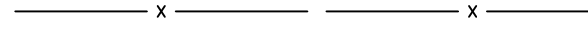
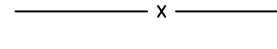
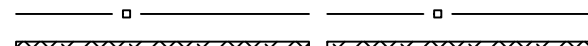
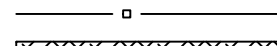



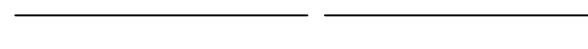


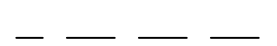


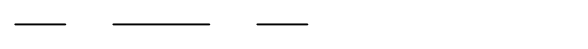
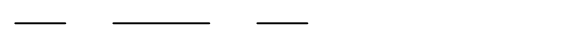
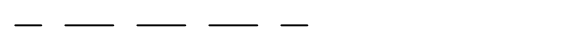
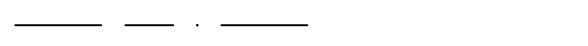
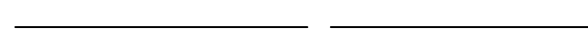
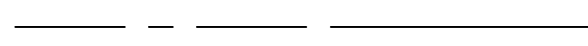
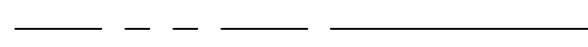
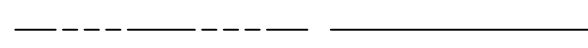
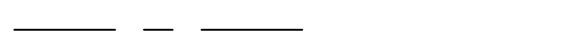
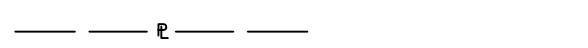


TEC, Inc.

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GENERAL SYMBOLS			TRAFFIC SYMBOLS			ABBREVIATIONS		
EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	GENERAL	HAMILTON BRIDGE STREET & MILES RIVER ROAD LEGEND & ABBREVIATIONS SHEET 2 OF 14	
 JB	 JB	JERSEY BARRIER			TRAFFIC SIGN (1 POST)	AADT	ANNUAL AVERAGE DAILY TRAFFIC	ABBREVIATIONS (cont.)
 CB	 CB	CATCH BASIN			TRAFFIC SIGN (2 POST)	ABAN	ABANDON	
 CBCI	 CBCI	CATCH BASIN CURB INLET				ADJ	ADJUST	
	 GI	GUTTER INLET				APPROX.	APPROXIMATE	
	 FP	FLAG POLE				A.C.	ASBESTOS CEMENT	
	 GP	GAS PUMP				ACCM PIPE	ASPHALT COATED CORRUGATED METAL PIPE	
	 MB	MAIL BOX				BIT.	BITUMINOUS	
		POST SQUARE				BC	BOTTOM OF CURB	
		POST CIRCULAR				BD.	BOUND	
	 WELL	WELL				BL	BASELINE	
	 EHH	ELECTRIC HANDHOLE				BLDG	BUILDING	
		FENCE GATE POST				BM	BENCHMARK	
	 GG	GAS GATE				BO	BY OTHERS	
	 BHL #	BORING HOLE				BOS	BOTTOM OF SLOPE	
	 MW #	MONITORING WELL				BR.	BRIDGE	
	 TP #	TEST PIT				BW	BOTTOM OF WALL	
		HYDRANT				CB	CATCH BASIN	
		LIGHT POLE				CBCI	CATCH BASIN WITH CURB INLET	
		COUNTY BOUND				CC	CEMENT CONCRETE	
		GPS POINT				CCB	CAPE COD BERM	
		CABLE MANHOLE				CCM	CEMENT CONCRETE MASONRY	
		DRAINAGE MANHOLE				CEM	CEMENT	
		ELECTRIC MANHOLE				CI	CURB INLET	
		GAS MANHOLE				CIP	CAST IRON PIPE	
		MISC MANHOLE				CLF	CHAIN LINK FENCE	
		SEWER MANHOLE				CL	CENTERLINE	
		TELEPHONE MANHOLE				CMP	CORRUGATED METAL PIPE	
		WATER MANHOLE				CSP	CORRUGATED STEEL PIPE	
	 MHB	MASSACHUSETTS HIGHWAY BOUND				CO.	COUNTY	
		MONUMENT				CONC	CONCRETE	
		STONE BOUND				CONT	CONTINUOUS	
		TOWN OR CITY BOUND				CONST	CONSTRUCTION	
		TRAVERSE OR TRIANGULATION STATION				CR GR	CROWN GRADE	
		TROLLEY POLE OR GUY POLE				DHV	DESIGN HOURLY VOLUME	
		TRANSMISSION POLE				DI	DROP INLET	
	 UFB	UTILITY POLE W/ FIREBOX				DIA	DIAMETER	
	 UPDL	UTILITY POLE WITH DOUBLE LIGHT				DIP	DUCTILE IRON PIPE	
	 ULT	UTILITY POLE W / 1 LIGHT				DSCB	DEEP SUMP CATCH BASIN	
	 UPL	UTILITY POLE				DW	STEADY DON'T WALK - PORTLAND ORANGE	
		BUSH				DWY	DRIVEWAY	
		TREE				ELEV (or EL.)	ELEVATION	
		SHRUB / PLANTING				EMB	EMBANKMENT	
		STUMP				EOP	EDGE OF PAVEMENT	
		TREE PROTECTION				EXIST (or EX)	EXISTING	
		SWAMP / MARSH				EXC	EXCAVATION	
	 WG	WATER GATE				F&C	FRAME AND COVER	
	 WSO	WATER SHUTOFF/CURB STOP				F&G	FRAME AND GRATE	
	 PM	PARKING METER				FDN.	FOUNDATION	
		OVERHEAD CABLE/WIRE				FDP	FULL DEPTH PAVEMENT	
		CURBING				FG	FINISHED GRADE	
		CONTOURS (ON-THE-GROUND SURVEY DATA)				FES	FLARED END SECTION	
		CONTOURS (PHOTOGRAMMETRIC DATA)				FLDSTN	FIELDSTONE	
		UNDERGROUND DRAIN PIPE (DOUBLE LINE 24 INCH AND OVER)				GAR	GARAGE	
		UNDERGROUND ELECTRIC DUCT (DOUBLE LINE 24 INCH AND OVER)				GC	GRANITE CURB	
		UNDERGROUND GAS MAIN (DOUBLE LINE 24 INCH AND OVER)				GCC	GRANITE CURB CORNER	
		UNDERGROUND SEWER MAIN (DOUBLE LINE 24 INCH AND OVER)				GD	GROUND	
		UNDERGROUND TELEPHONE DUCT (DOUBLE LINE 24 INCH AND OVER)				GG	GAS GATE	
		UNDERGROUND WATER MAIN (DOUBLE LINE 24 INCH AND OVER)				GI	GUTTER INLET	
		BALANCED STONE WALL				GIP	GALVANIZED IRON PIPE	
		GUARD RAIL - STEEL POSTS				GRAN	GRANITE	
		GUARD RAIL - WOOD POSTS				GRAV	GRAVEL	
		CHAIN LINK OR METAL FENCE				GRD	GUARD	
		WOOD FENCE				HDW	HEADWALL	
		SEDIMENT CONTROL BARRIER				HMA	HOT MIX ASPHALT	
		TREE LINE				HOR	HORIZONTAL	
		EDGE OF PAVEMENT				HYD	HYDRANT	
		SAWCUT LINE				IH	IRRIGATION HEAD	
		TOP OR BOTTOM OF SLOPE				INV	INVERT	
		DRAINAGE SWALE				JCT	JUNCTION	
		LIMIT OF EDGE OF MICROMILLING AND OVERLAY				L	LENGTH OF CURVE	
		BANK OF RIVER OR STREAM				LB	LEACH BASIN	
		BORDER OF WETLAND				LOG	LIMIT OF GRADING	
		100 FT WETLAND BUFFER				LP	LIGHT POLE OR LOW POINT	
		200 FT RIVERFRONT BUFFER				L&S	LOAM & SEED	
		STATE HIGHWAY LAYOUT				LT	LEFT	
		TOWN OR CITY LAYOUT				MAX	MAXIMUM	
		COUNTY LAYOUT				MB	MAILBOX	
		RAILROAD SIDELINE				MH	MANHOLE	
		TOWN OR CITY BOUNDARY LINE				MHB	MASSACHUSETTS HIGHWAY BOUND	
		PROPERTY LINE OR APPROXIMATE PROPERTY LINE				MIN	MINIMUM	
		EASEMENT				NIC	NOT IN CONTRACT	
						NO.	NUMBER	
						OCS	OUTLET CONTROL STRUCTURE	
						PC	POINT OF CURVATURE	
						PCC	POINT OF COMPOUND CURVATURE	
						PERM	PERMANENT	
						P.G.L.	PROFILE GRADE LINE	
						PI	POINT OF INTERSECTION	

CONSTRUCTION NOTES:

- EXISTING CONDITIONS INFORMATION COMPILED FROM ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY HANCOCK ASSOCIATES IN MARCH THROUGH MAY OF 2021.  
  
HORIZONTAL DATUM = NAD83, MAINLAND ZONE (MASSACHUSETTS STATE PLANE COORDINATES)  
VERTICAL DATUM = NAVD88  
  
SAID DATUMS WERE ESTABLISHED VIA GPS OBSERVATIONS UTILIZING REALIZATION NAD83 (2011) AND GEOID 12A
- THE CONTRACTOR SHALL CONTACT DIGSAFE (1-888-DIGSAFE) A MINIMUM OF 72 HOURS PRIOR TO ANY CONSTRUCTION TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- ALL MUNICIPALLY OWNED UTILITY STRUCTURES (CATCH BASINS, DRAIN & SEWER MANHOLES, WATER GATES, ETC.) SHALL BE ADJUSTED BY THE CONTRACTOR TO FINISHED GRADE UNLESS DIRECTED OTHERWISE.
- ALL PRIVATELY OWNED UTILITY STRUCTURES (GAS GATES, ELECTRIC / TELEPHONE MANHOLES, ETC.) SHALL BE ADJUSTED TO FINISHED GRADE BY THE PRIVATE UTILITY COMPANY, UNLESS DIRECTED OTHERWISE. THE CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES FOR THE ALTERATION AND ADJUSTMENT, AS NECESSARY.
- THE TERM "PROPOSED" (PROP) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET" (R&R), AS APPROVED BY THE ENGINEER.
- THE TERM "MEET EXIST" MEANS TO MEET BOTH THE EXISTING ALIGNMENT AND ELEVATION.
- DETECTABLE WARNING PANELS ARE REQUIRED ON ALL PROPOSED PEDESTRIAN CURB RAMPS AND SHALL BE INSTALLED IN ACCORDANCE WITH MASSDOT CONSTRUCTION STANDARDS.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- ALL DISTURBED AREAS OUTSIDE THE CURBLINE SHALL BE STABILIZED WITH 4" LOAM AND SEED, UNLESS OTHERWISE NOTED.
- AN UNOBSTRUCTED PEDESTRIAN PATH OF TRAVEL WITH A MINIMUM WIDTH OF 4'-0" (EXCLUDING THE WIDTH OF THE CURB) SHALL BE MAINTAINED PAST ALL VERTICAL OBSTRUCTIONS (UTILITY POLES, LIGHT POLES, SIGNS, MAILBOXES, ETC.)
- SEDIMENT CONTROL BARRIERS ARE TO BE USED AS DIRECTED BY THE TOWN OF HAMILTON AND THE TOWN ENGINEER ONLY.

PAVEMENT NOTES

PROPOSED MILL & HOT MIX ASPHALT (HMA) OVERLAY

SURFACE: 2" SUPERPAVE SURFACE COURSE - 12.5 (SSC-12.5) OVER  
ASPHALT EMULSION TACK COAT OVER  
2" PAVEMENT FINE MILLING

PROPOSED FULL DEPTH PAVEMENT

SURFACE: 2" SUPERPAVE SURFACE COURSE - 12.5 (SSC-12.5) OVER  
ASPHALT EMULSION TACK COAT OVER  
2" SUPERPAVE INTERMEDIATE COURSE - 12.5 (SIC-12.5) OVER  
ASPHALT EMULSION TACK COAT OVER

BASE: 3.5" SUPERPAVE INTERMEDIATE COURSE - 19.0 (SIC-19.0) OVER

SUBBASE: 4" DENSE GRADED CRUSHED STONE OVER  
8" GRAVEL BORROW , TYPE b

PROPOSED PERMANENT PAVEMENT TRENCH PATCH

SURFACE: VARIABLE DEPTH HMA FOR PATCHING TO MATCH EXISTING PAVEMENT PER SECTION 450.53  
(COMPACTED IN 2" (MAX) LIFTS TO MATCH EXIST PAVEMENT THICKNESS)  
BASE: 8" GRAVEL BORROW, TYPE b OVER

SUBBASE: EXISTING MATERIAL SUITABLE FOR RE-USE (SEE VARIOUS TRENCH DETAILS)

PROPOSED TEMPORARY PAVEMENT TRENCH PATCH

SURFACE: 2½" TEMPORARY ASPHALT PATCHING

BASE: EXISTING MATERIAL SUITABLE FOR RE-USE (SEE VARIOUS TRENCH DETAILS)

PROPOSED HMA SIDEWALK

SURFACE: 1¼" SUPERPAVE SURFACE COURSE 9.5 (SSC -9.5) OVER  
1¾" SUPERPAVE INTERMEDIATE COURSE 12.5 (SIC - 12.5) OVER

BASE: 8" SUITABLE EXISTING GRAVEL;  
ADD GRAVEL BORROW, TYPE b AS REQUIRED

PROPOSED DRIVEWAY APRON REPAIR

SURFACE: 1½" SUPERPAVE SURFACE COURSE 9.5 (SSC -9.5) OVER  
2½" SUPERPAVE INTERMEDIATE COURSE 12.5 (SIC - 12.5) OVER

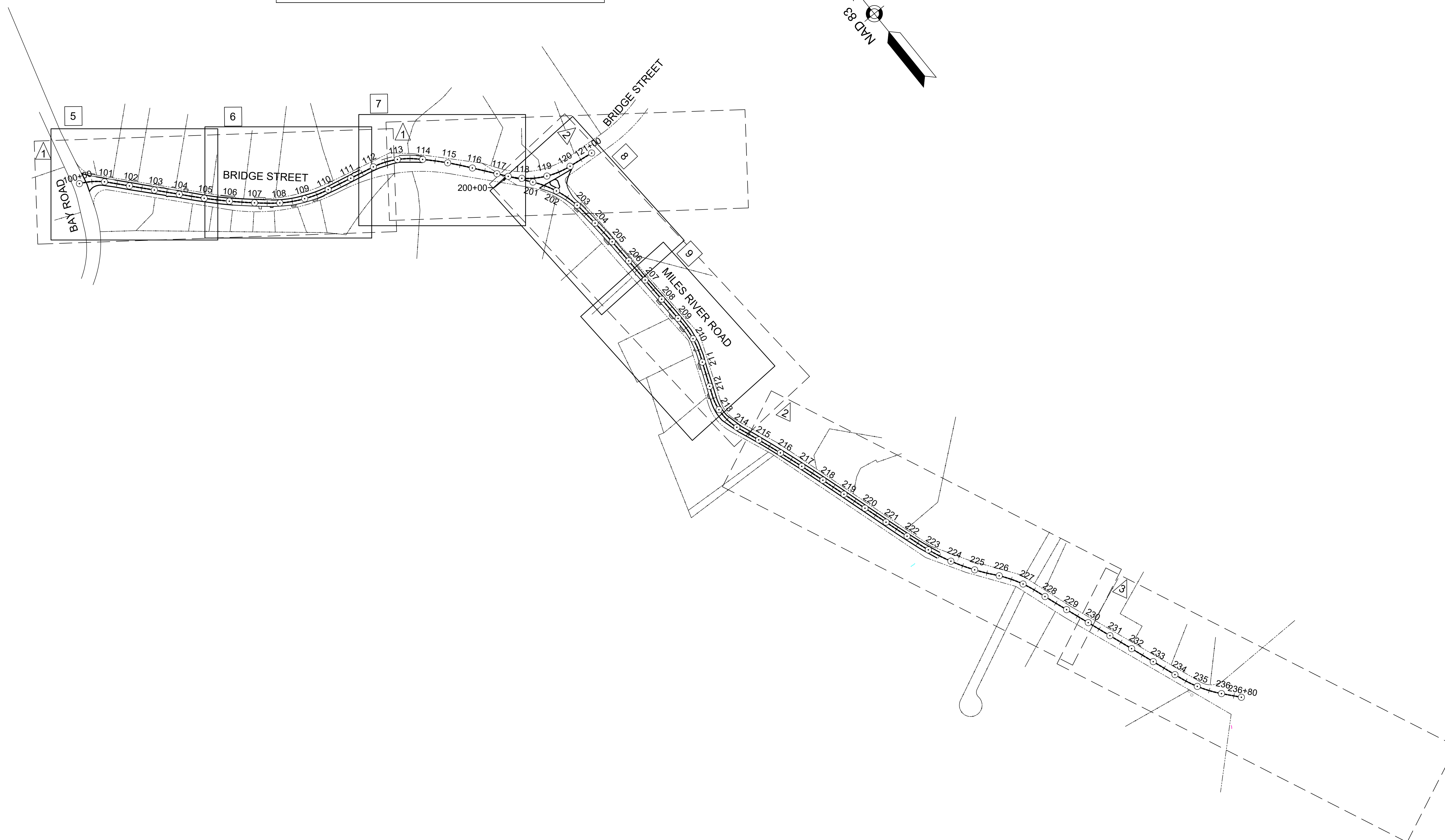
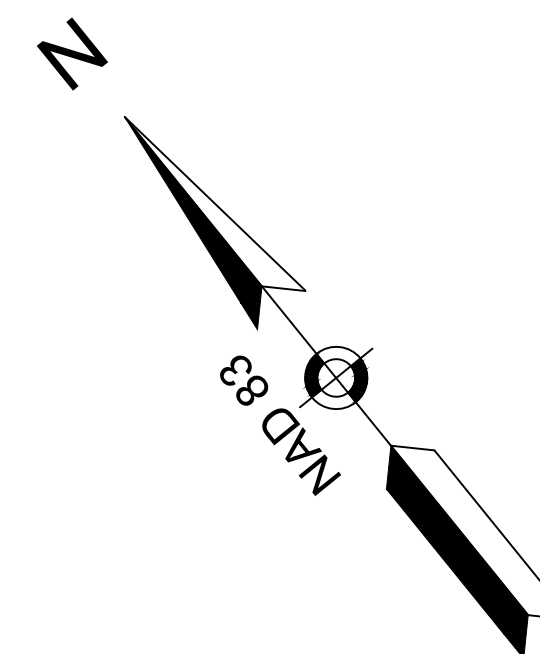
BASE: 8" SUITABLE EXISTING GRAVEL;  
ADD GRAVEL BORROW, TYPE b AS REQUIRED

GENERAL PAVEMENT NOTES:

- ASPHALT EMULSION FOR TACK COAT SHALL BE APPLIED BETWEEN ALL ASPHALT SURFACES AND SAWCUT JOINTS BEFORE PAVING. HMA JOINT SEALANT SHALL BE APPLIED TO ALL COLD JOINTS (LONGITUDINAL AND TRANSVERSE) BEFORE PAVING SURFACE COURSE. ASPHALT EMULSION FOR TACK COAT SHALL BE APPLIED IN ACCORDANCE WITH SUBSECTION 450.43. ALL SURFACES SHALL BE CLEAN OF ALL ORGANICS, DEBRIS, AND SAND PRIOR TO PAVING.
- ALL HMA SHALL BE IN ACCORDANCE WITH SECTION 460.
- ASPHALT EMULSION FOR TACK COAT SHALL BE RS-1H TO RESIST TRACKING OF TACK BY HAUL VEHICLES.
- HMA FOR WALKS SHALL BE IN ACCORDANCE WITH SECTION 702.
- ALL GRAVEL BORROW MEETING SPECIFICATION SHALL BE RETAINED IN PLACE, COMPACTED, AND LEVELED AS REQUIRED.

LEGEND

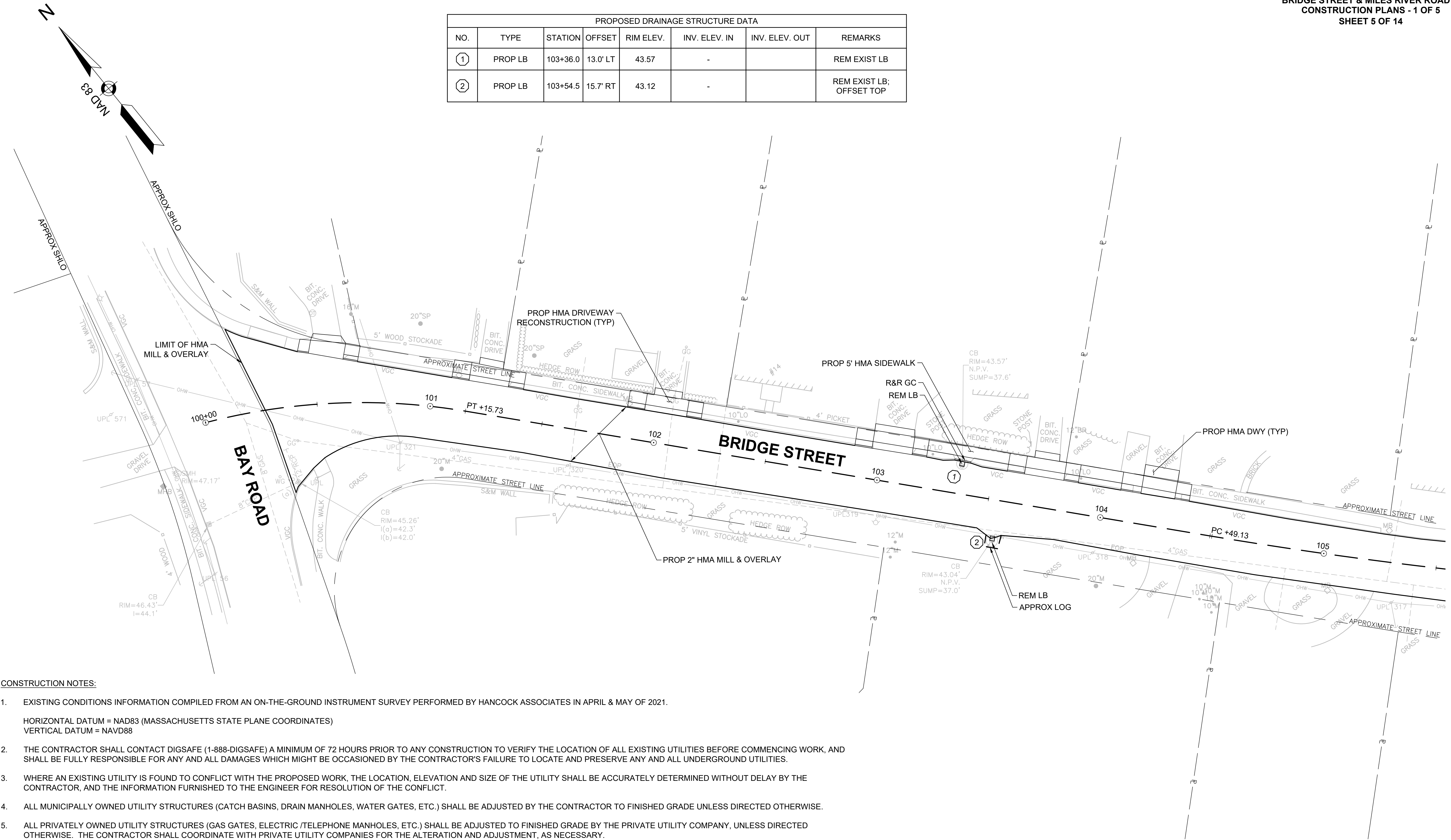
- CONSTRUCTION PLANS
- PAVING OVERVIEW PLANS (SEE PROJECT MANUAL)



0 200 400 600 800  
SCALE: 1" = 200'

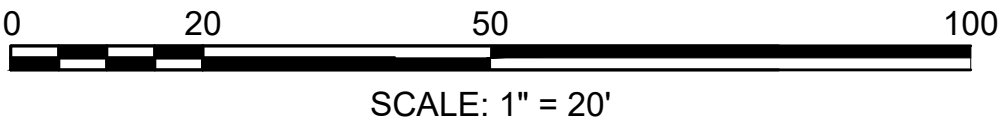


PROPOSED DRAINAGE STRUCTURE DATA							
NO.	TYPE	STATION	OFFSET	RIM ELEV.	INV. ELEV. IN	INV. ELEV. OUT	REMARKS
①	PROP LB	103+36.0	13.0' LT	43.57	-		REM EXIST LB
②	PROP LB	103+54.5	15.7' RT	43.12	-		REM EXIST LB; OFFSET TOP



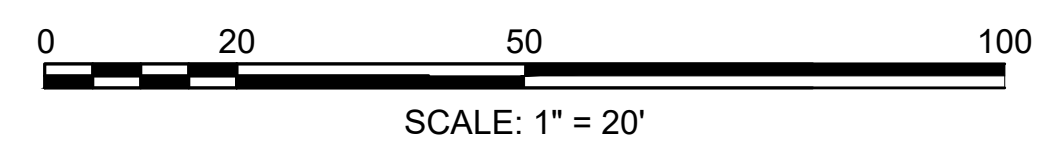
CONSTRUCTION NOTES:

- EXISTING CONDITIONS INFORMATION COMPILED FROM AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY HANCOCK ASSOCIATES IN APRIL & MAY OF 2021.  
HORIZONTAL DATUM = NAD83 (MASSACHUSETTS STATE PLANE COORDINATES)  
VERTICAL DATUM = NAVD88
- THE CONTRACTOR SHALL CONTACT DIGSAFE (1-888-DIGSAFE) A MINIMUM OF 72 HOURS PRIOR TO ANY CONSTRUCTION TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- ALL MUNICIPALLY OWNED UTILITY STRUCTURES (CATCH BASINS, DRAIN MANHOLES, WATER GATES, ETC.) SHALL BE ADJUSTED BY THE CONTRACTOR TO FINISHED GRADE UNLESS DIRECTED OTHERWISE.
- ALL PRIVATELY OWNED UTILITY STRUCTURES (GAS GATES, ELECTRIC /TELEPHONE MANHOLES, ETC.) SHALL BE ADJUSTED TO FINISHED GRADE BY THE PRIVATE UTILITY COMPANY, UNLESS DIRECTED OTHERWISE. THE CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES FOR THE ALTERATION AND ADJUSTMENT, AS NECESSARY.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE.
- THE TERM "PROPOSED" (PROP) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET" (R&R), AS APPROVED BY THE ENGINEER.
- THE TERM "MEET EXIST" MEANS TO MEET BOTH THE EXISTING ALIGNMENT AND ELEVATION.
- ALL EXISTING TREES WITHIN THE PROJECT LIMITS SHALL BE RETAINED UNLESS INDICATED OTHERWISE ON THE DRAWINGS. ALL PROVIDED DIMENSIONS REFER TO THE DIAMETER AT BREAST HEIGHT.
- ALL AREAS BETWEEN THE BACK OF SIDEWALK OR CURB TO THE LIMIT OF GRADING, OR AREAS DISTURBED BY THE CONTRACTORS OPERATIONS SHALL BE RESTORED WITH 4 INCHES OF LOAM AND SEED.



CONTINUED ON  
SHEET NO. 6

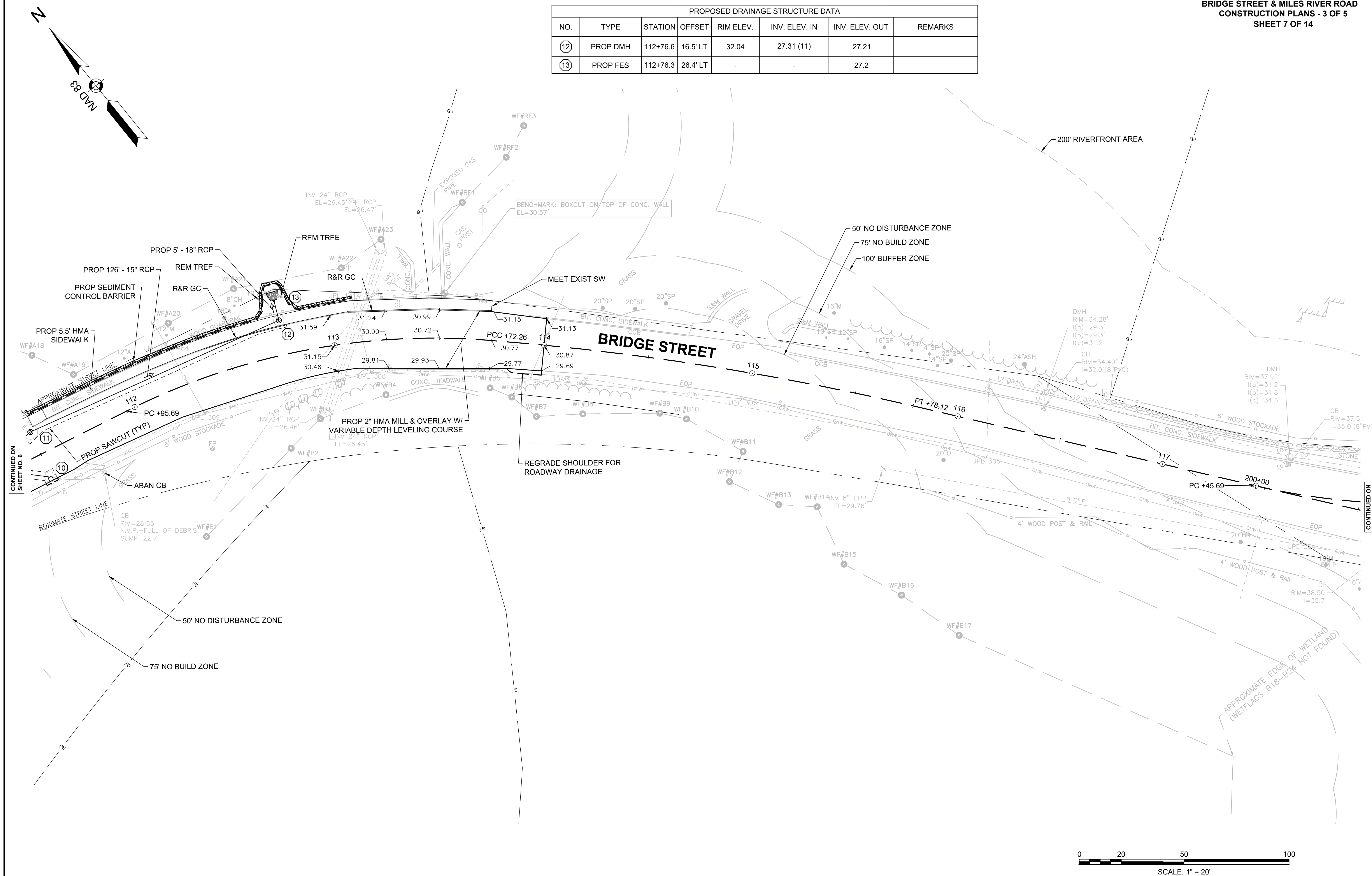
T1093.01\_HD4 (CONSTRUCTION PLANS).DWG Plotted on 28-Feb-2025 11:05 AM





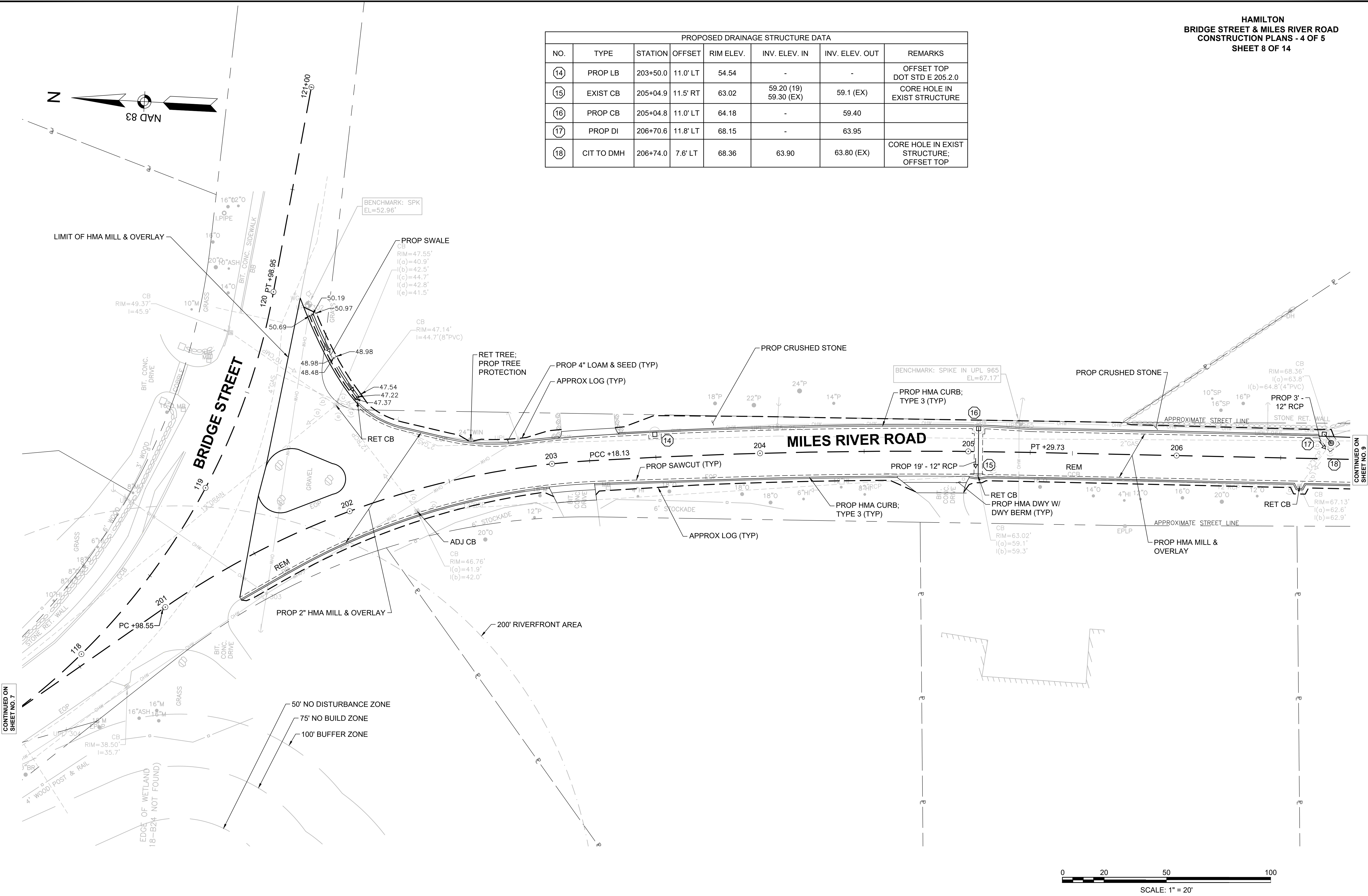
HD4(CONS)RIBITION PI ANS) DWG Plotted on 28-Feb-2025 11:05 AM

PROPOSED DRAINAGE STRUCTURE DATA							
NO.	TYPE	STATION	OFFSET	RIM ELEV.	INV. ELEV. IN	INV. ELEV. OUT	REMARKS
⑫	PROP DMH	112+76.6	16.5' LT	32.04	27.31 (11)	27.21	
⑬	PROP FES	112+76.3	26.4' LT	-	-	27.2	





PROPOSED DRAINAGE STRUCTURE DATA							
NO.	TYPE	STATION	OFFSET	RIM ELEV.	INV. ELEV. IN	INV. ELEV. OUT	REMARKS
14	PROP LB	203+50.0	11.0' LT	54.54	-	-	OFFSET TOP DOT STD E 205.2.0
15	EXIST CB	205+04.9	11.5' RT	63.02	59.20 (19) 59.30 (EX)	59.1 (EX)	CORE HOLE IN EXIST STRUCTURE
16	PROP CB	205+04.8	11.0' LT	64.18	-	59.40	
17	PROP DI	206+70.6	11.8' LT	68.15	-	63.95	
18	CIT TO DMH	206+74.0	7.6' LT	68.36	63.90	63.80 (EX)	CORE HOLE IN EXIST STRUCTURE; OFFSET TOP



HD4 (CONSTRUCTION PIANS) DWG Plotted on 28-Feb-2025 11:06 AM





TEMPORARY TRAFFIC CONTROL NOTES:

- ALL TEMPORARY TRAFFIC CONTROL WORK SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND ALL REVISIONS, UNLESS SUPERCEDED BY THESE PLANS.
- ALL SIGN LEGENDS, BORDERS, AND MOUNTING SHALL BE IN ACCORDANCE WITH THE MUTCD.
- TEMPORARY CONSTRUCTION SIGNING AND ALL OTHER TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF ANY WORK.
- TEMPORARY CONSTRUCTION SIGNING, BARRICADES, AND ALL OTHER NECESSARY WORK ZONE TRAFFIC CONTROL DEVICES SHALL BE REMOVED FROM THE HIGHWAY OR COVERED WHEN THEY ARE NOT REQUIRED FOR CONTROL OF TRAFFIC.
- SIGNS AND SIGN SUPPORTS LOCATED ON OR NEAR THE TRAVELED WAY, CHANNELIZING DEVICES, BARRIERS, AND CRASH ATTENUATORS MUST PASS THE CRITERIA SET FORTH IN THE "MANUAL FOR ASSESSING SAFETY HARDWARE" (MASH).
- CONTRACTORS SHALL NOTIFY EACH ABUTTER AT LEAST 24 HOURS IN ADVANCE OF THE START OF ANY WORK THAT WILL REQUIRE THE TEMPORARY CLOSURE OF ACCESS, SUCH AS CONDUIT INSTALLATION, EXISTING PAVEMENT EXCAVATION, TEMPORARY DRIVEWAY PAVEMENT PLACEMENT, AND SIMILAR OPERATIONS.
- THE FIRST TEN PLASTIC DRUMS OF A TAPER SHALL BE MOUNTED WITH SEQUENTIAL FLASHING LIGHTS.
- THE ADVISORY SPEED LIMIT, IF REQUIRED, SHALL BE DETERMINED BY THE ENGINEER.
- DISTANCES ARE A GUIDE AND MAY BE ADJUSTED IN THE FIELD BY THE ENGINEER.
- MAXIMUM SPACING OF TRAFFIC DEVICES IN A TAPER (DRUMS OR CONES) IS EQUAL IN FEET TO THE SPEED LIMIT IN MPH.
- MINIMUM LANE WIDTH IS TO BE 11 FEET UNLESS OTHERWISE SHOWN. MINIMUM LANE WIDTH TO BE MEASURED FROM THE EDGE OF DRUMS OR MEDIAN BARRIER.
- ALL SIGNS SHALL BE MOUNTED ON THEIR OWN STANDARD SIGN SUPPORTS.
- NO LANE CLOSURES SHALL BE PERMITTED DURING PEAK HOUR TRAFFIC. PEAK HOUR IS CONSIDERED TO BE FROM 7-9:00 AM AND 4-6:00 PM ON WEEKDAYS.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A CONSTRUCTION PHASING DIAGRAM FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

LEGEND:

- REFLECTORIZED PLASTIC DRUM OR 36" CONE
- P/F POLICE/FLAGGER DETAIL
- TYPE III BARRICADE
- CHANGEABLE MESSAGE SIGN
- ARROW BOARD
- WORK ZONE
- DIRECTION OF TRAFFIC
- IMPACT ATTENUATOR
- MEDIAN BARRIER
- MEDIAN BARRIER WITH WARNING LIGHTS
- WORK VEHICLE
- TRUCK MOUNTED ATTENUATOR
- TRAFFIC OR PEDESTRIAN SIGNAL
- SIGN

SUGGESTED WORK ZONE WARNING SIGN SPACING

ROAD TYPE	DISTANCE BETWEEN SIGNS **		
	A	B	C
LOCAL OR LOW VOLUME ROADWAYS*	350	350	350
MOST OTHER ROADWAYS*	500	500	500
FREEWAYS AND EXPRESSWAYS*	1,000	1,500	2,640

\* ROAD TYPE TO BE DETERMINED BY MASSDOT OFFICE OF TRANSPORTATION PLANNING.

\*\* DISTANCES ARE SHOWN IN FEET. THE COLUMN HEADINGS A, B, AND C ARE THE DIMENSIONS SHOWN IN THE DETAIL/ TYPICAL SETUP FIGURES. THE A DIMENSION IS THE DISTANCE FROM THE TRANSITION OR POINT OF RESTRICTION TO THE FIRST SIGN. THE B DIMENSION IS THE DISTANCE BETWEEN THE FIRST AND SECOND SIGNS. THE C DIMENSION IS THE DISTANCE BETWEEN THE SECOND AND THIRD SIGNS. (THE "THIRD" SIGN IS THE FIRST ONE TYPICALLY ENCOUNTERED BY A DRIVER APPROACHING A TEMPORARY TRAFFIC CONTROL (TTC) ZONE.)

THE "THIRD" SIGN ABOVE IS TYPICALLY REFERRED TO AS AN "ADVANCE WARNING" SIGN ON THE TTCP SETUPS. THESE ADVANCE WARNING SIGNS ARE LOCATED PRIOR TO THE PROJECT LIMITS ON ALL APPROACHES (i.e. THE W20-1 SERIES (ROAD WORK XX FT) SIGNS), AND USUALLY REMAIN FOR THE DURATION OF THE PROJECT. ADDITIONAL SIGNS (i.e. "RIGHT LANE CLOSED 1 MILE" AND "LEFT LANE CLOSED 1 MILE") HAVE BEEN SHOWN IN SOME FIGURES AS EXAMPLES OF REINFORCEMENT SIGN PLACEMENT BUT ARE USED IN RARE OCCASIONS.

THE FIRST AND SECOND WARNING SIGNS ABOVE ARE REFERRED TO AS THE OPERATIONAL (DAY-TO-DAY) WORK ZONE SIGNS AND MAY BE MOVED DEPENDING ON WHERE THE SPECIFIC ROADWAY WORK FOR THAT DAY IS LOCATED.

R2-10a SIGNS SHALL BE PLACED BETWEEN THE SECOND AND THIRD SIGNS AS DESCRIBED ABOVE.

R2-10a, R2-10e, AND W20-1 SERIES SIGNS ARE TO BE INCLUDED ON ALL DETAILS/TYPICAL SETUPS.

TAPER LENGTH CRITERIA FOR TEMPORARY TRAFFIC CONTROL ZONES

TYPE OF TAPER	TAPER LENGTH (L)
MERGING TAPER	AT LEAST L
SHIFTING TAPER	AT LEAST 0.5L
SHOULDER TAPER	AT LEAST 0.33L
ONE-LANE, TWO-WAY TRAFFIC TAPER	50 FT MIN. 100 FT MAX.
DOWNSTREAM TAPER	50 FT MIN. 100 FT MAX. PER LANE

FORMULAS FOR DETERMINING TAPER LENGTHS

SPEED LIMIT (S)	TAPER LENGTH (L) FEET
40 MPH OR LESS	$L = \frac{WS^2}{60}$
45 MPH OR MORE	$L = WS$

WHERE: L = TAPER LENGTH IN FEET

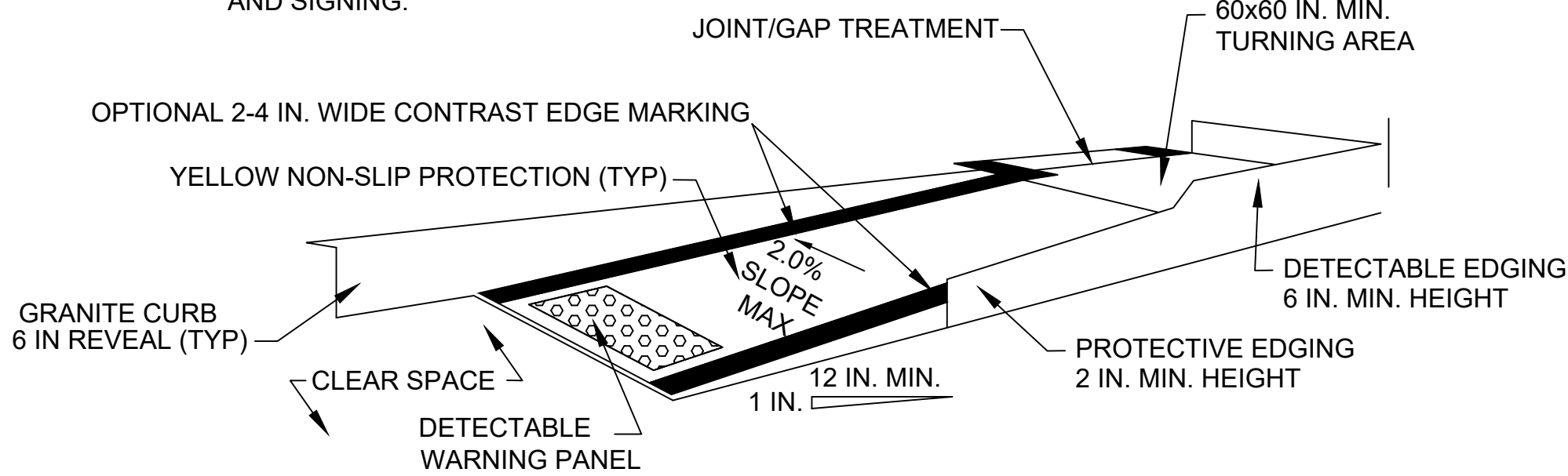
W = WIDTH OF OFFSET IN FEET

S = POSTED SPEED LIMIT, OR OFF-PEAK 85TH-PERCENTILE SPEED PRIOR TO WORK STARTING, OR THE ANTICIPATED OPERATING SPEED IN MPH

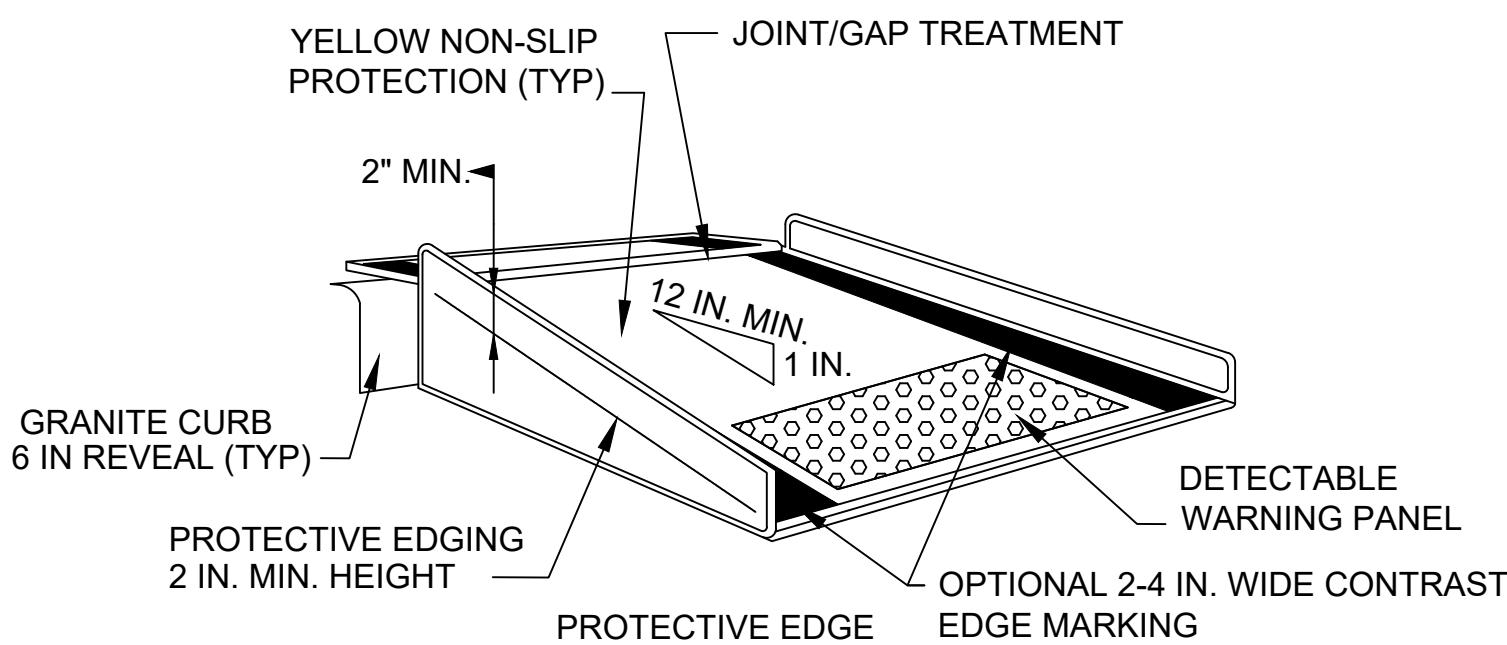
TYPICAL PEDESTRIAN DETAILS:

NOTES:

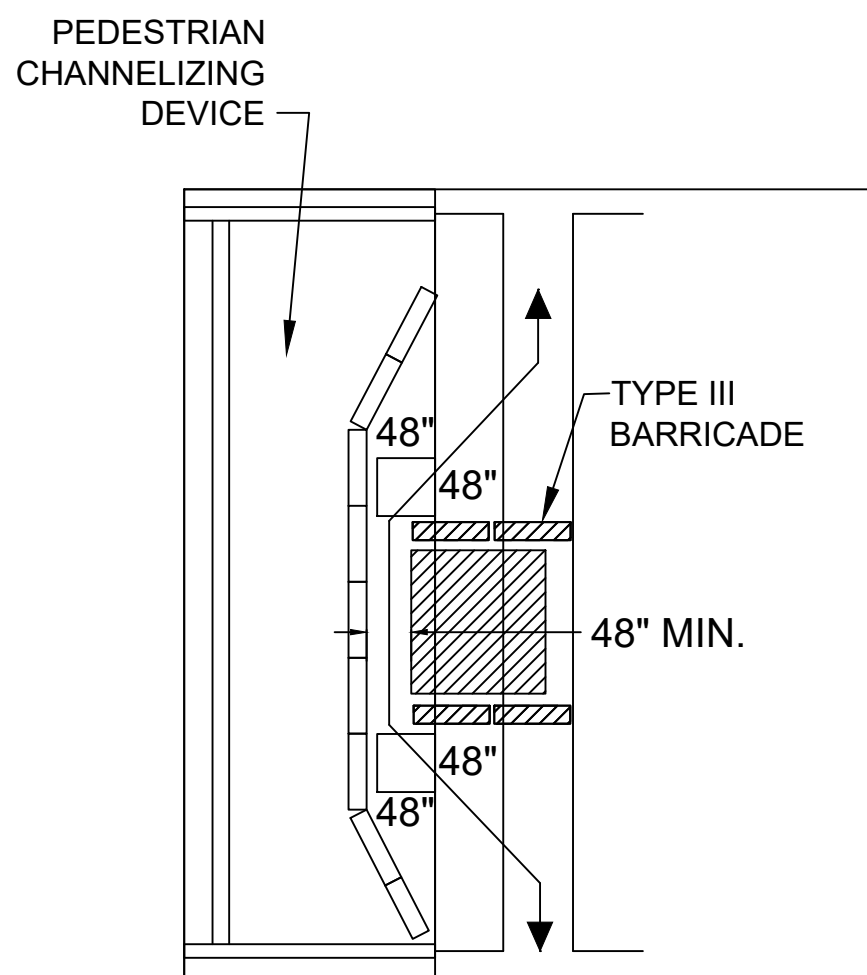
- WHEN EXISTING PEDESTRIAN FACILITIES ARE DISRUPTED, CLOSED, OR RELOCATED IN A TTC ZONE, TEMPORARY FACILITIES SHALL BE PROVIDED AND THEY SHALL BE DETECTABLE AND INCLUDE ACCESSIBILITY FEATURES CONSISTENT WITH THE FEATURES PRESENT IN THE EXISTING PEDESTRIAN FACILITY.
- A PEDESTRIAN CHANNELIZING DEVICE THAT IS DETECTABLE BY A PERSON WITH A VISUAL DISABILITY TRAVELING WITH THE AID OF A LONG CANE SHALL BE PLACED ALONG THE FULL LENGTH OF THE TEMPORARY PEDESTRIAN ROUTE.
- WHEN USED, TEMPORARY RAMPS SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT.
- THE ALTERNATE PATHWAY SHOULD HAVE A SMOOTH CONTINUOUS HARD SURFACE FOR THE ENTIRE LENGTH OF THE TEMPORARY PEDESTRIAN FACILITY.
- THE TEMPORARY SIDEWALK SHOULD BE A MINIMUM OF 4 FEET WIDE. IF THE SIDEWALK EXCEEDS 200 FEET THEN A 5 FOOT BY 5 FOOT PASSING ZONE SHALL BE PROVIDED NEAR THE MIDPOINT OF THE CLOSURE.
- THE PROTECTIVE REQUIREMENTS OF A TTC WORK ZONE MAY HAVE AN IMPACT IN DETERMINING THE NEED FOR TEMPORARY TRAFFIC BARRIERS AND THEIR USE IN PROVIDING PEDESTRIAN DELINEATION SHOULD BE BASED ON ENGINEERING JUDGEMENT.
- ON-DEMAND PEDESTRIAN ASSISTANCE PERSONNEL TO ASSIST WITH NAVIGATION AROUND THE CLOSURE/WORK AREA MAY BE CONSIDERED AS AN OPTION IN PLACE OF PROVIDING ADA/AAB DEVICES FOR WORK CLOSURES LASTING 4 HOURS OR LESS.
- CONTROLS ONLY FOR PEDESTRIAN TRAFFIC ARE SHOWN; VEHICULAR TRAFFIC SHOULD BE HANDLED AS SHOWN ELSEWHERE. THESE DETAILS ARE USED IN CONJUNCTION WITH THE PROPOSED LANE CLOSURE DETAILS AND DURING CONSTRUCTION STAGING, AS DETERMINED BY THE ENGINEER.
- ADA COMPLIANT ACCESS SHALL BE MAINTAINED AT ALL TIMES, INCLUDING PEDESTRIAN GUIDANCE SYSTEMS AT WORK ZONES. PEDESTRIAN DETOURS OR BYPASSES SHALL INCLUDE AN ADA COMPLIANT ROUTE WITH PROPER BARRICADES, RAILINGS, RAMPS, AND SIGNING.



TEMPORARY CURB RAMP PARALLEL TO CURB



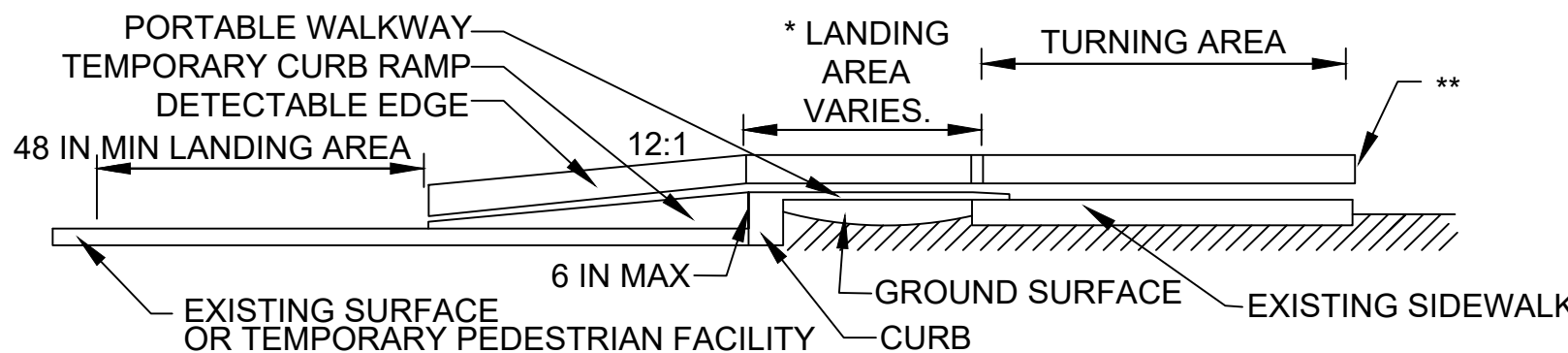
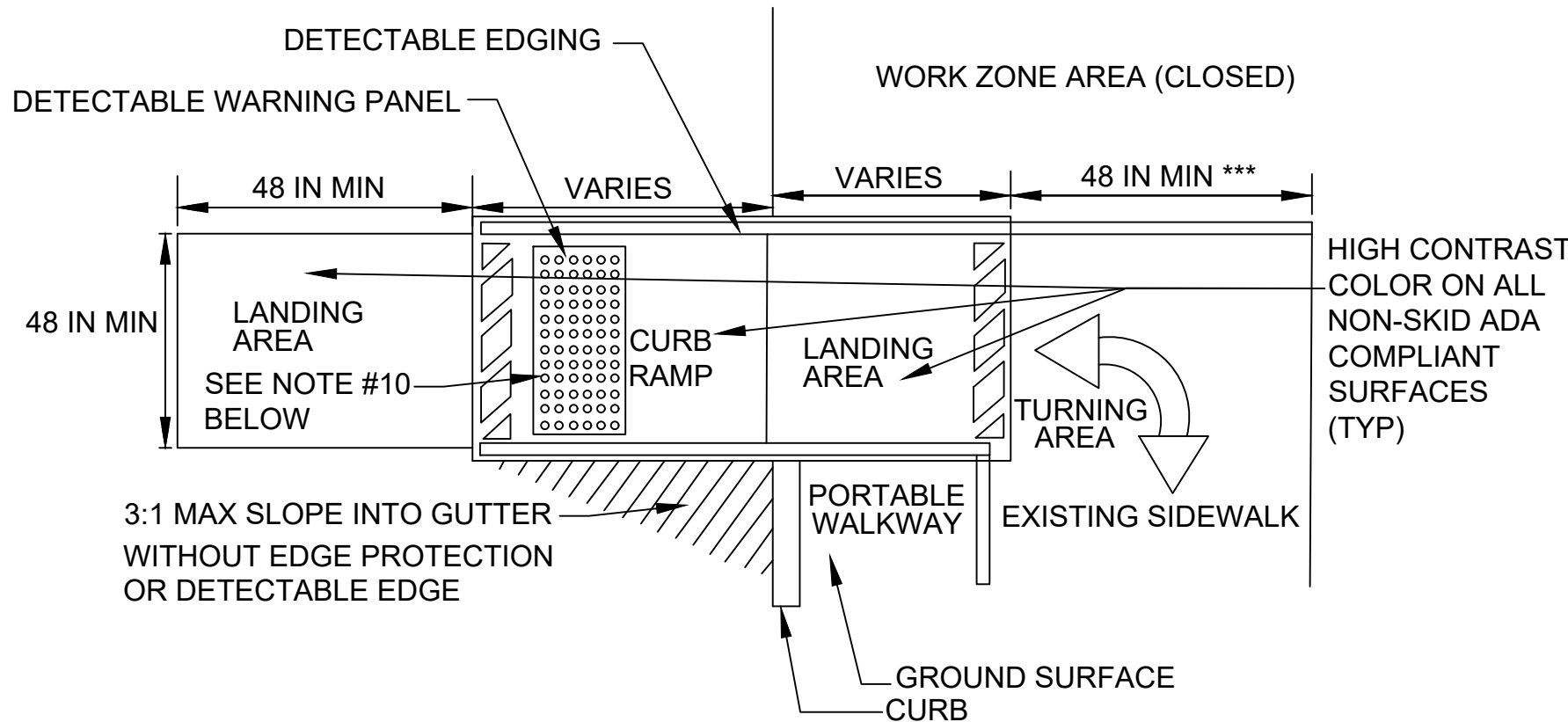
TEMPORARY CURB RAMP-PERPENDICULAR TO CURB



PEDESTRIAN BYPASS

HAMILTON  
BRIDGE STREET & MILES RIVER ROAD  
TEMPORARY TRAFFIC CONTROL PLANS - 1 OF 3  
SHEET 10 OF 14

TYPICAL PEDESTRIAN DEVICES:

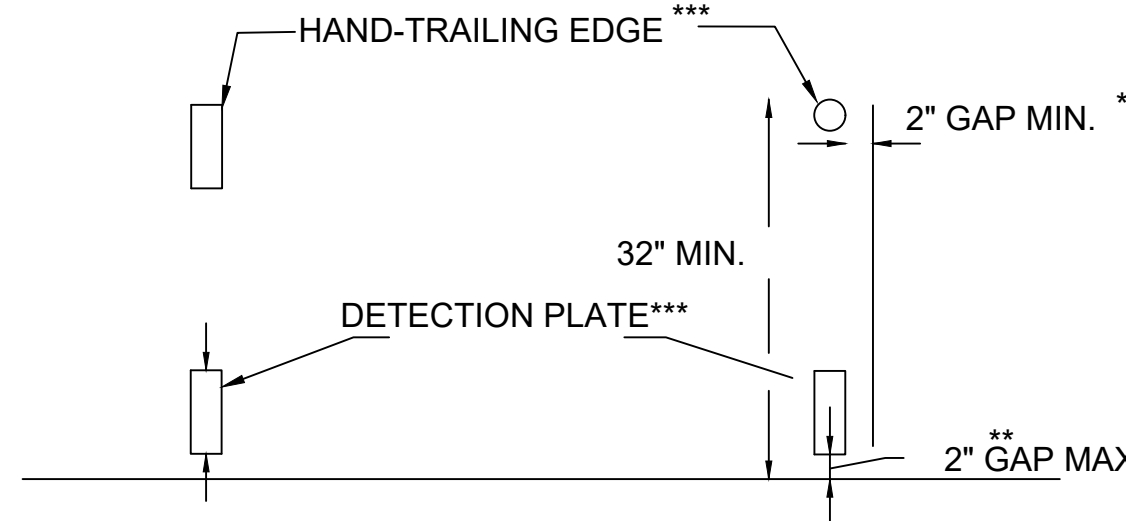


\* -LANDING AREA USED TO OVERLAP NON-ADA COMPLIANT SURFACES.

\*\* -DETECTABLE EDGE REMOVED IF A CONTINUOUS SIDEWALK.

\*\*\* -60 IN. IF AN OBSTRUCTION IS AT BACK OF SIDEWALK

TEMPORARY CURB RAMP-TYPE 2



CROSS SECTION VIEW

NOTES:

\* THERE SHALL BE A 2 INCH GAP BETWEEN THE HAND-TRAILING EDGE AND ITS SUPPORT.

\*\* A MAXIMUM 2 INCH GAP BETWEEN THE BOTTOM OF THE BOTTOM RAIL AND THE SURFACE MAY BE USED TO PROVIDE DRAINAGE.

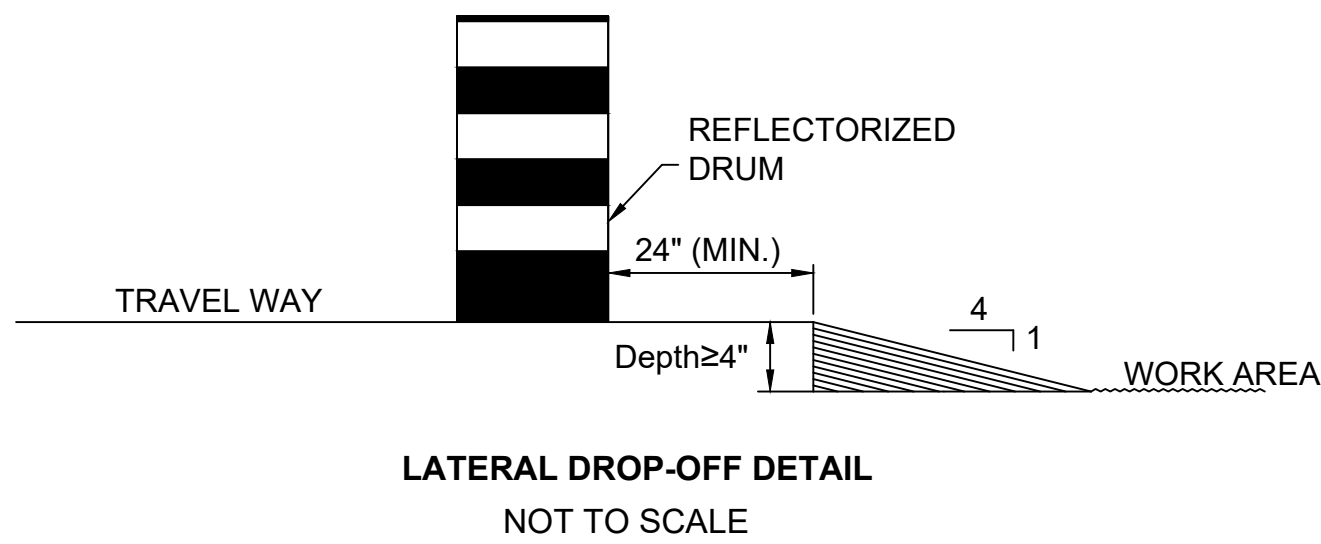
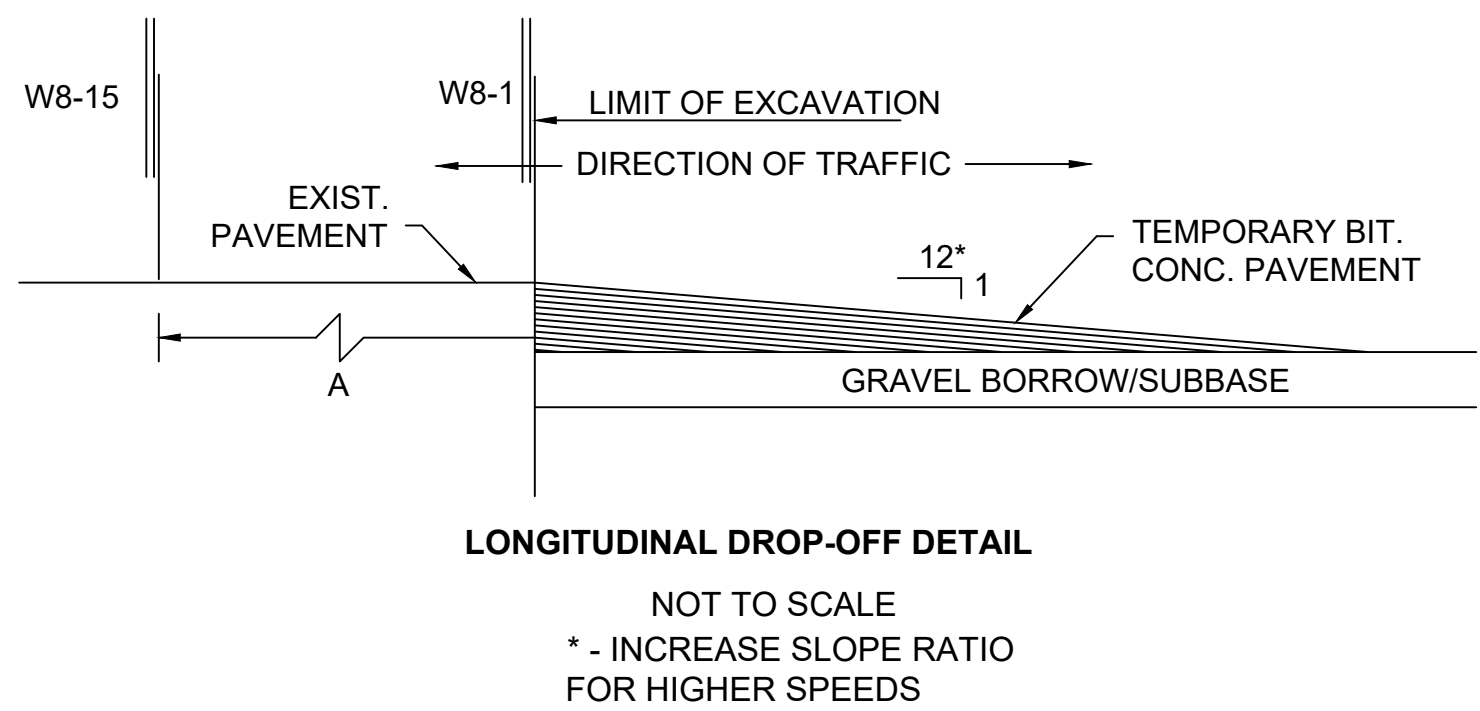
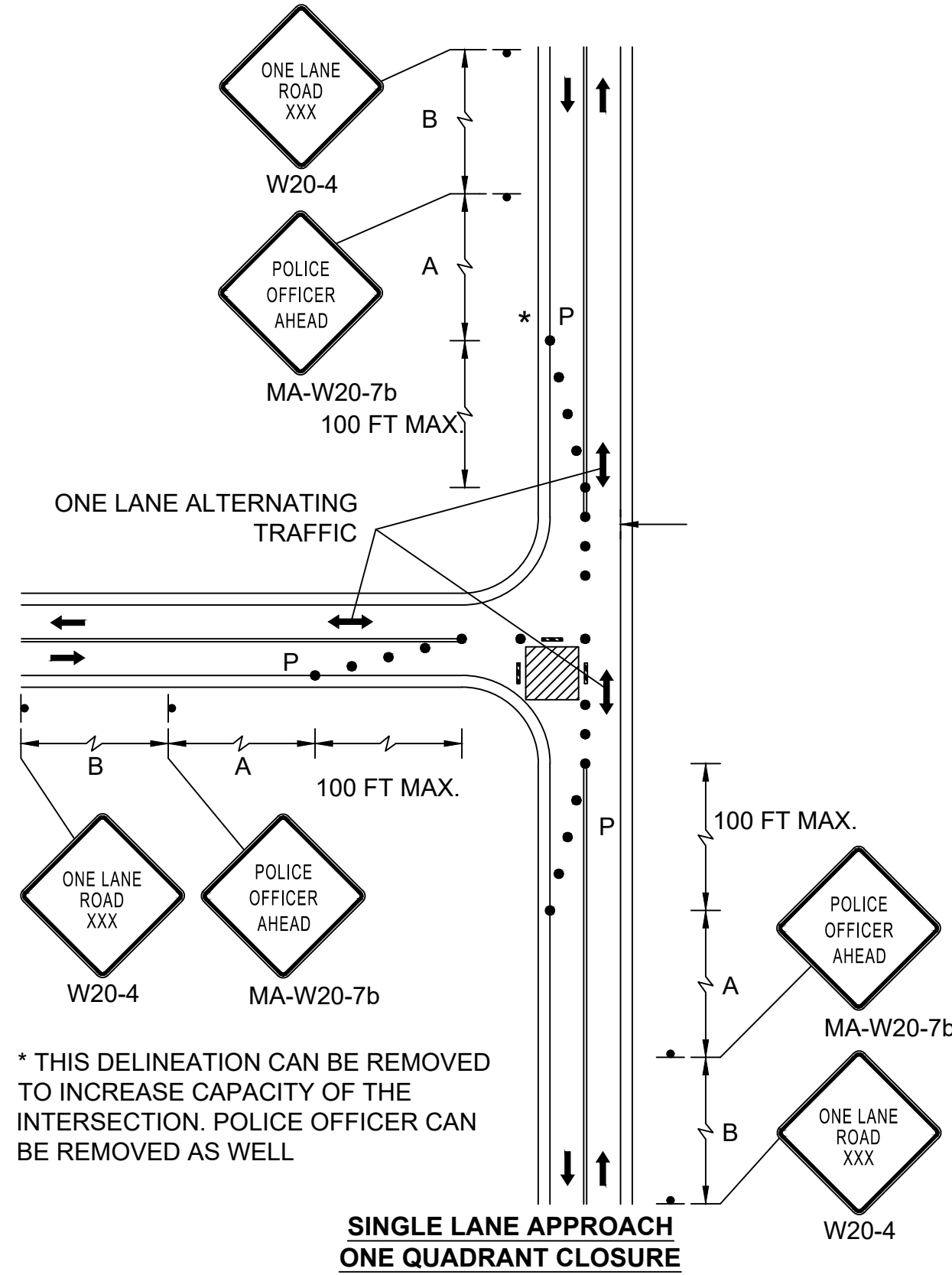
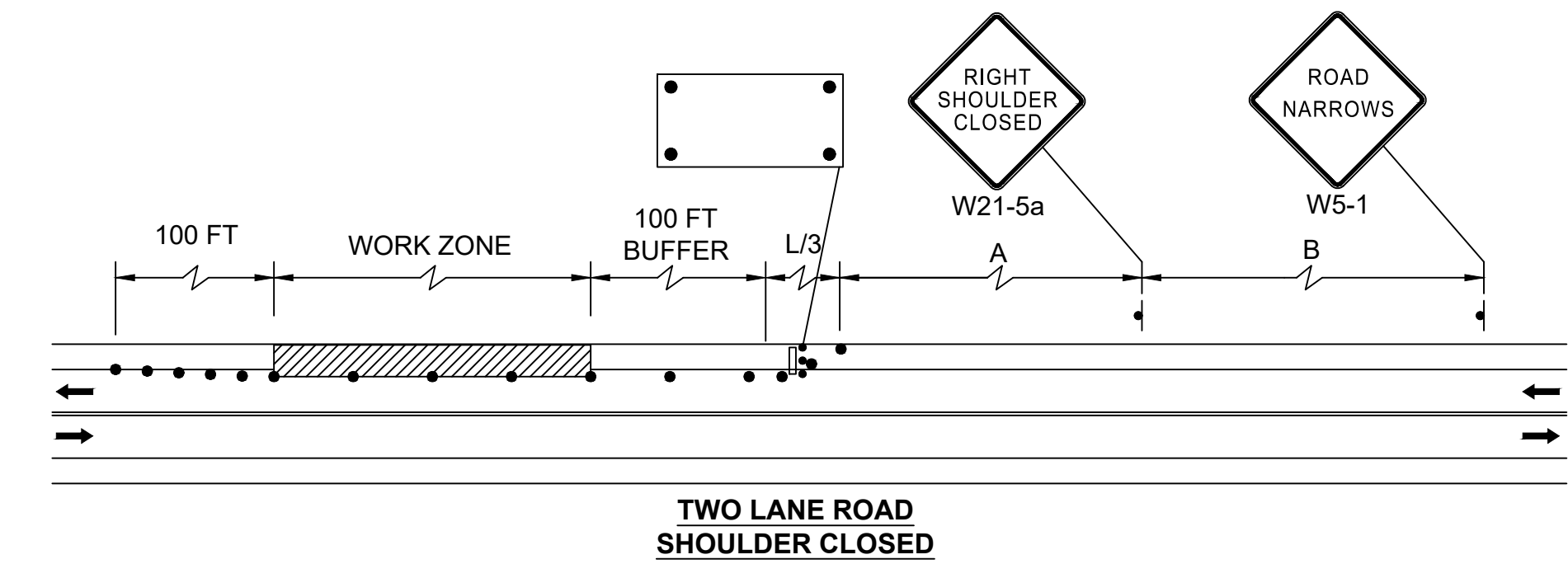
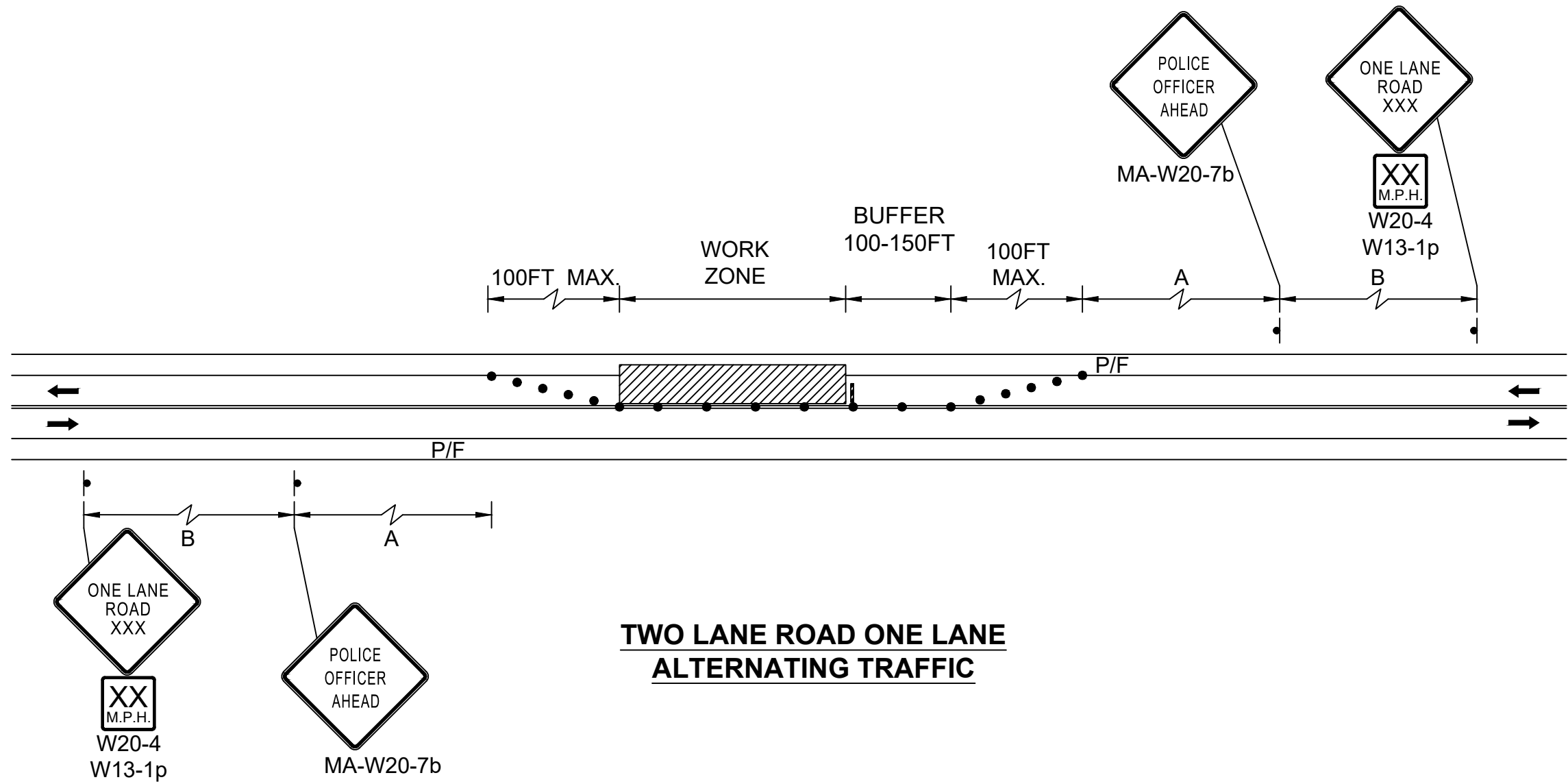
\*\*\* THE HAND-TRAILING EDGE AND DETECTION PLATE SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE PATH SUCH THAT A PEDESTRIAN USER WITH A LONG CANE CAN FOLLOW IT.

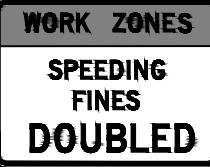
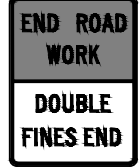








PEDESTRIAN CHANNELIZING DEVICE

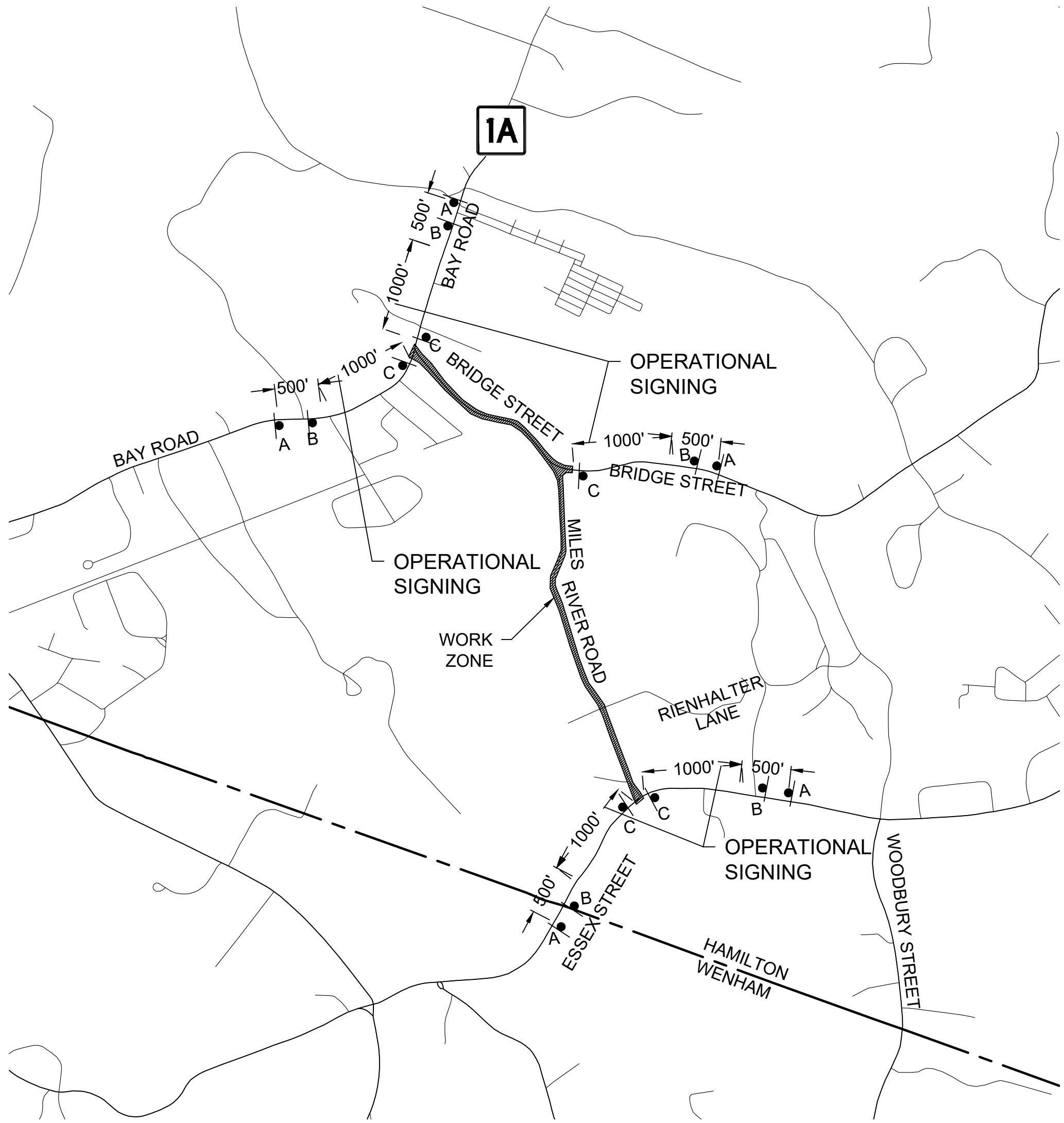
TYPICAL PEDESTRIAN DEVICE NOTES:

- CURB RAMPS SHALL BE 60 IN. MINIMUM WIDTH WITH A FIRM, STABLE AND NON-SLIP SURFACE.
- PROTECTIVE EDGING WITH A 2 IN. MINIMUM HEIGHT SHALL BE INSTALLED WHEN THE CURB RAMP OR LANDING PLATFORM HAS A VERTICAL DROP OF 6 IN. OR GREATER OR HAS A SIDE APRON SLOP STEEPER THAN 1:3 (33%). PROTECTIVE EDGING SHOULD BE CONSIDERED WHEN THE CURB RAMPS OR LANDING PLATFORMS HAVE A VERTICAL DROP OF 3 IN. OR MORE.
- DETECTABLE EDGING WITH 6 IN. MINIMUM HEIGHT AND CONTRASTING COLOR SHALL BE INSTALLED ON ALL CURB RAMP LANDINGS WHERE THE WALKWAY CHANGES DIRECTION (TURNS).
- THE CURB RAMP WALKWAY AND LANDING AREA SURFACE SHALL BE OF A SOLID CONTINUOUS CONTRASTING COLOR ABUTTING UP TO THE EXISTING SIDEWALK.
- CURB RAMPS AND LANDINGS SHOULD HAVE A 1:50 (2%) MAX CROSS-SLOPE.
- CLEAR SPACE OF 48x48 IN. MINIMUM SHALL BE PROVIDED ABOVE AND BELOW THE CURB RAMP.
- WATER FLOW IN THE GUTTER SYSTEM SHALL HAVE MINIMAL RESTRICTION.
- LATERAL JOINTS OR GAPS BETWEEN SURFACES SHALL BE LESS THAN 0.5 IN. WIDTH.
- CHANGES BETWEEN SURFACE HEIGHTS SHOULD NOT EXCEED 0.5 IN. LATERAL EDGES SHOULD BE VERTICAL UP TO 0.25 IN. HIGH, AND BEVELED AT 1:2 BETWEEN 0.25 IN. AND 0.5 IN. HEIGHT.
- IF A TEMPORARY PEDESTRIAN RAMP LEADS TO A CROSSWALK, THEN A DETECTABLE WARNING PAD MUST BE ADHERED TO THE BASE OF THE RAMP. IF IT LEADS TO A PROTECTED PEDESTRIAN BYPASS THAT DOES NOT CONFLICT WITH VEHICULAR TRAFFIC, THEN A PAD SHALL NOT BE INSTALLED ON THE RAMP.



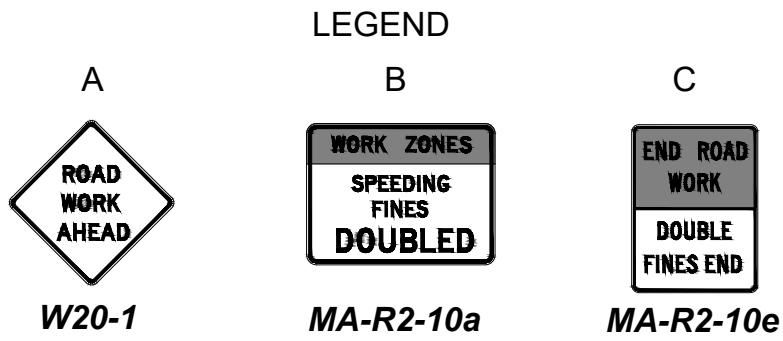


TEMPORARY TRAFFIC CONTROL SIGN SUMMARY												
IDENTIFICATION NUMBER	SIZE OF SIGN (in)		LEGEND	TEXT DIMENSIONS (in)			COLOR			NUMBER OF SIGNS REQUIRED	UNIT AREA (SF)	TOTAL AREA (SF)
	WIDTH	HEIGHT		LETTER HEIGHT	VERTICAL SPACING	ARROW RTE. MKR	BACK-GROUND	LEGEND	BORDER			
MA-R2-10a	48	36		MASSDOT STANDARD SIGN			FL. ORANGE WHITE	BLACK BLACK	BLACK BLACK	5	12.00	60.00
MA-R2-10e	36	48		↓			FL. ORANGE WHITE	BLACK BLACK	BLACK BLACK	5	12.00	60.00
W5-1	36	36		SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS			FL. ORANGE	BLACK	BLACK	1	9.00	9.00
W8-1	36	36					FL. ORANGE	BLACK	BLACK	5	9.00	45.00
W8-15	36	36					FL. ORANGE	BLACK	BLACK	5	9.00	45.00
W13-1p	24	24					FL. ORANGE	BLACK	BLACK	2	4.00	8.00
W20-1	36	36					FL. ORANGE	BLACK	BLACK	5	9.00	45.00
W20-4	36	36		↓			FL. ORANGE	BLACK	BLACK	3	9.00	27.00
MA-W20-7b	36	36		MASSDOT STANDARD SIGN			FL. ORANGE	BLACK	BLACK	3	9.00	27.00
W21-5a	36	36		SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS			FL. ORANGE	BLACK	BLACK	1	9.00	9.00

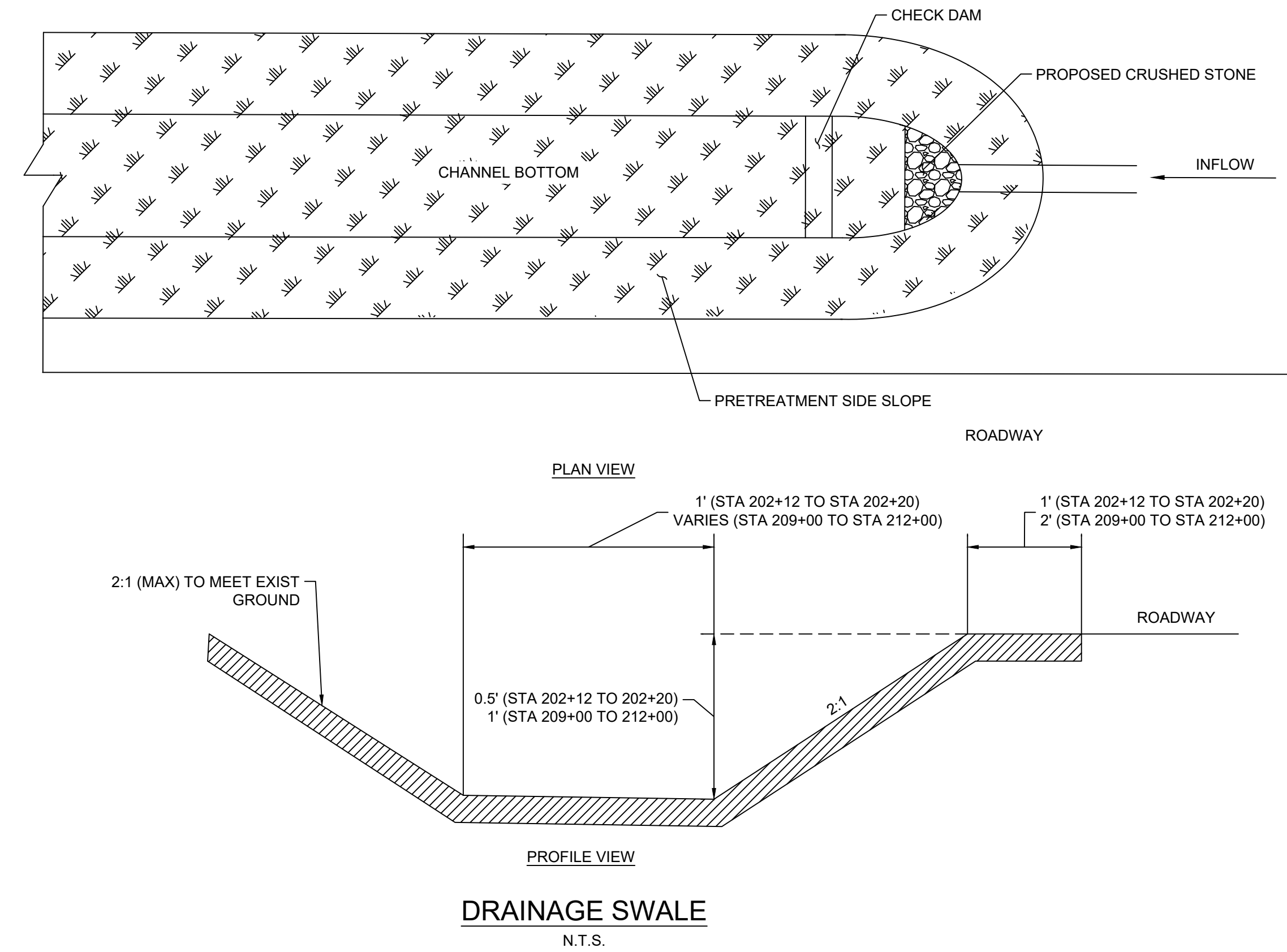
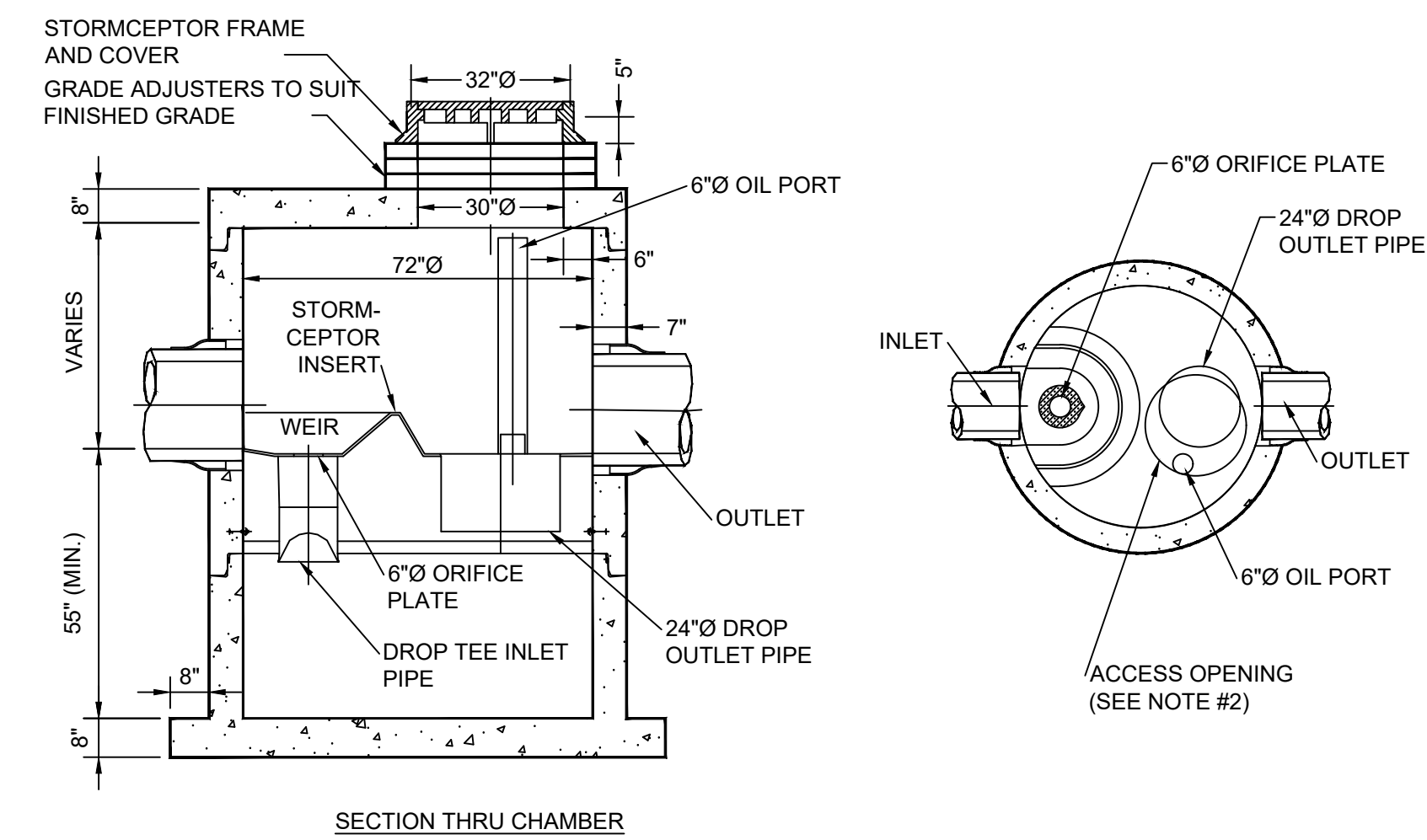
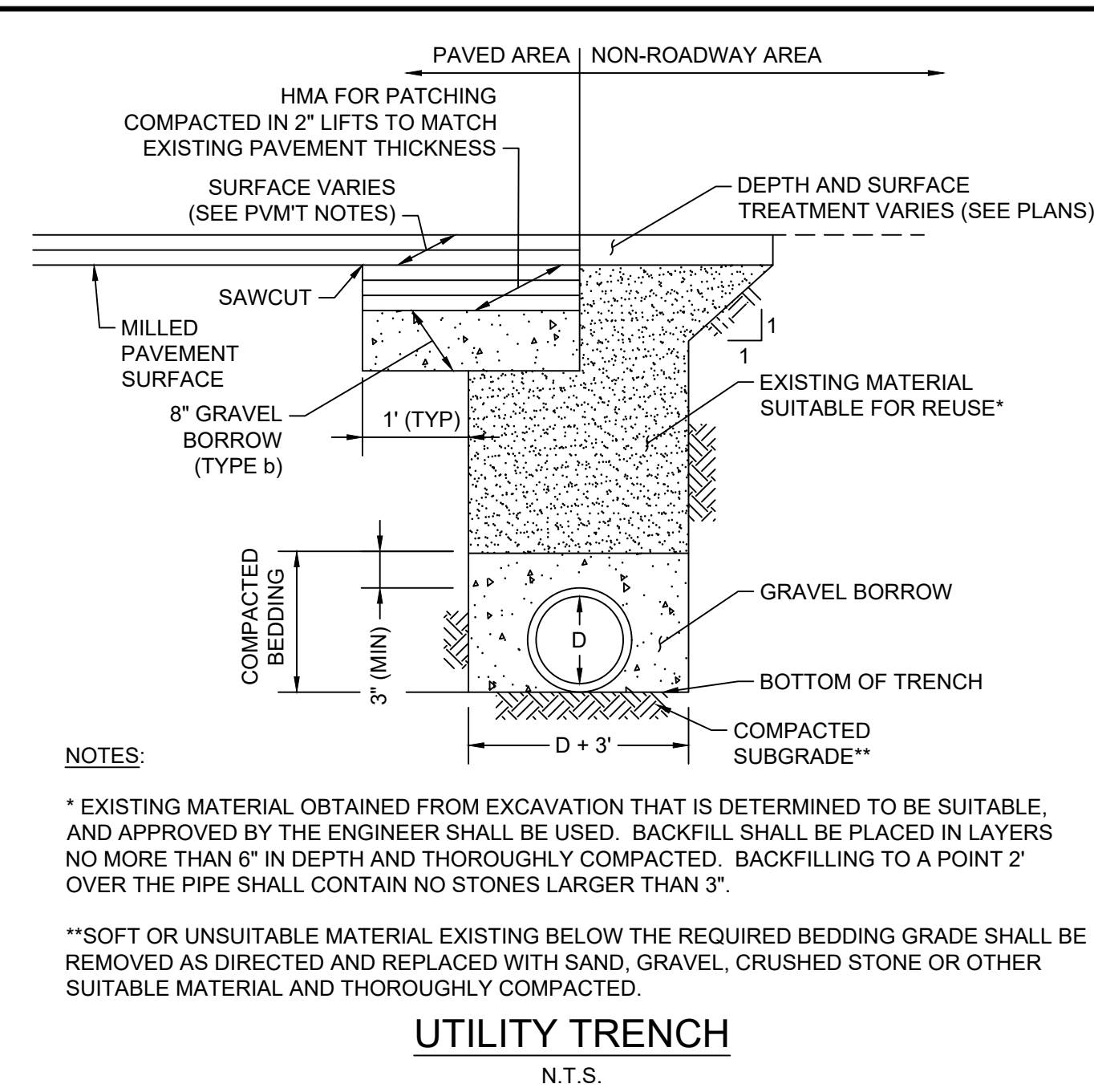
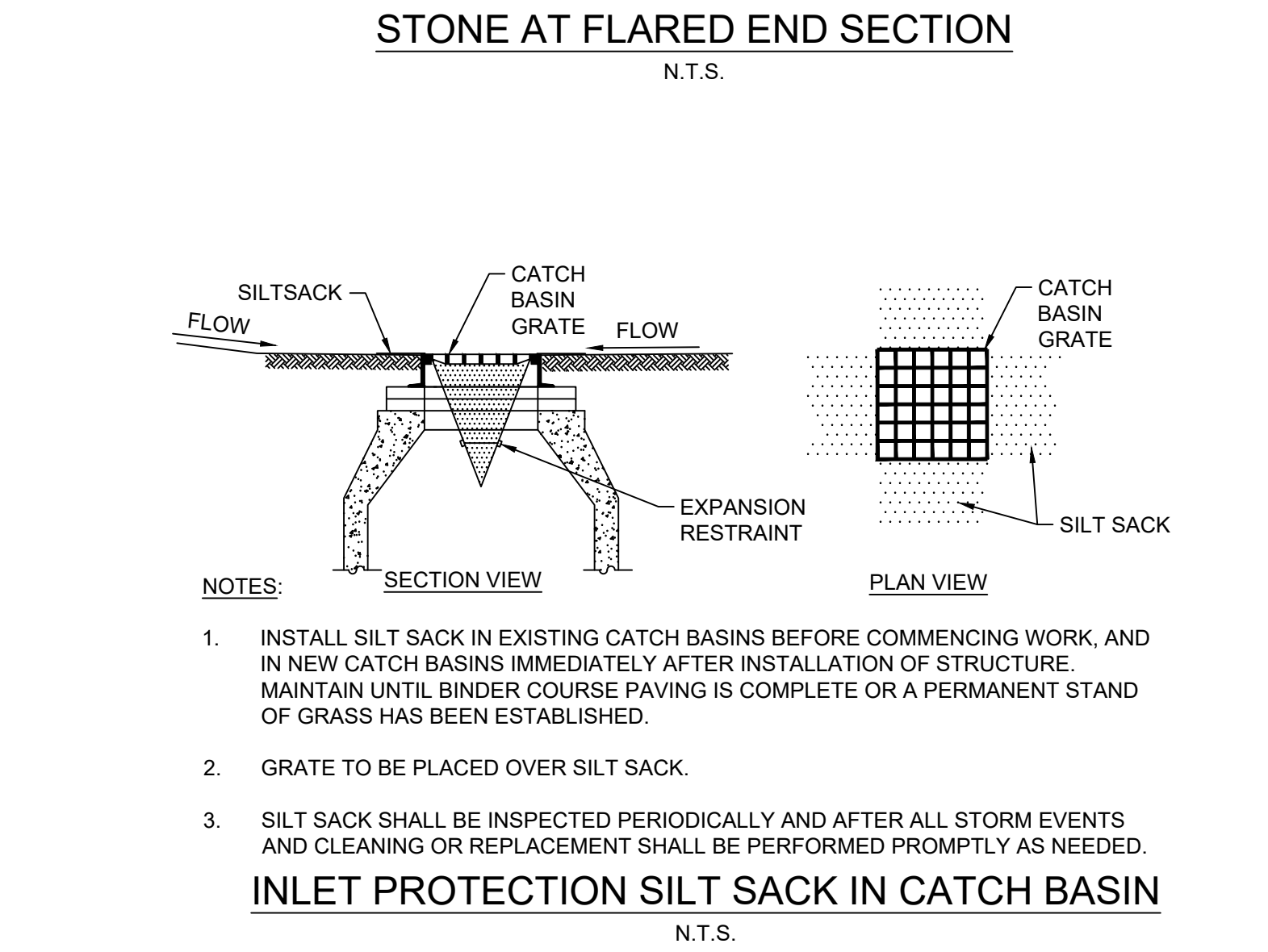
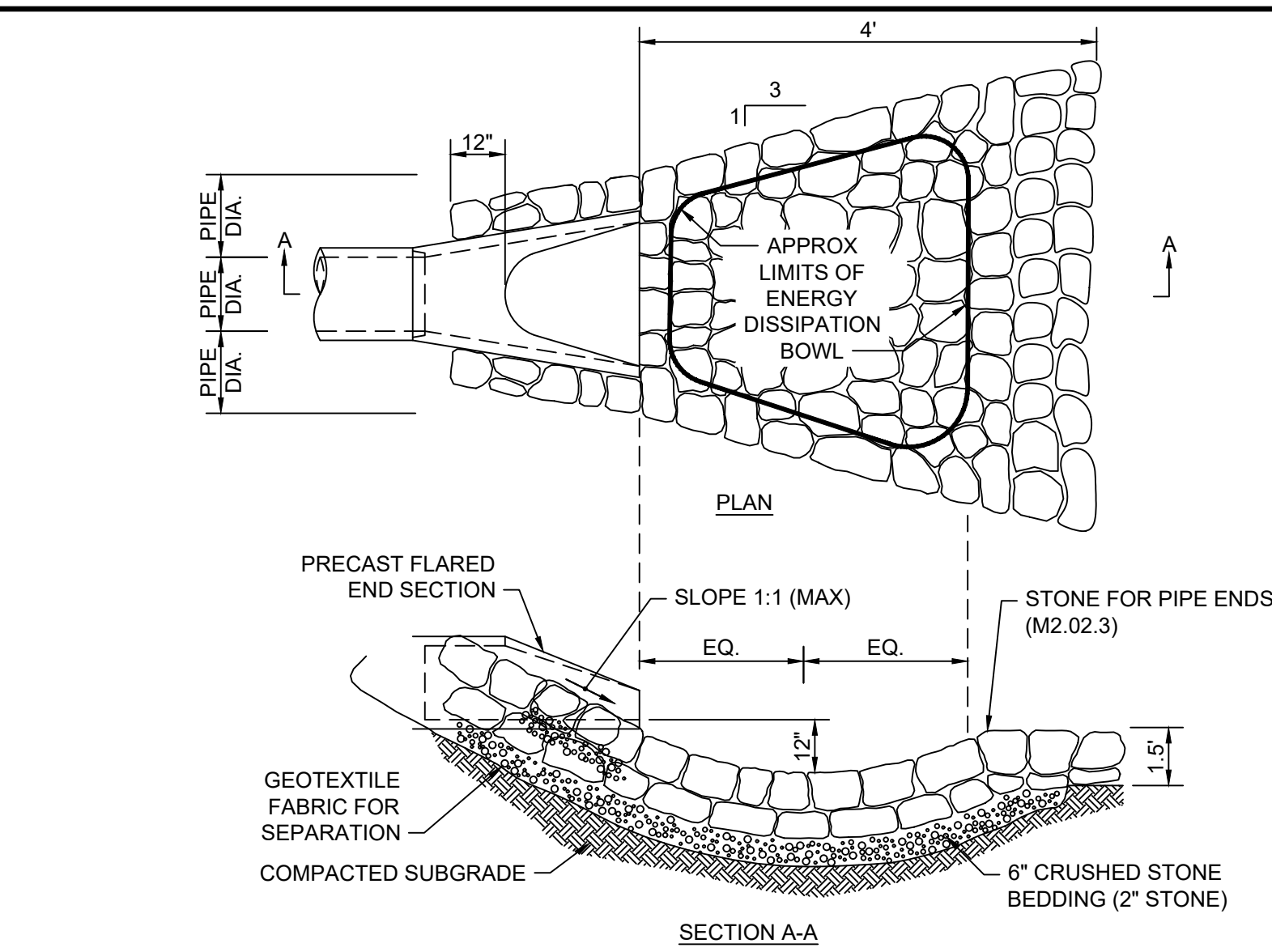
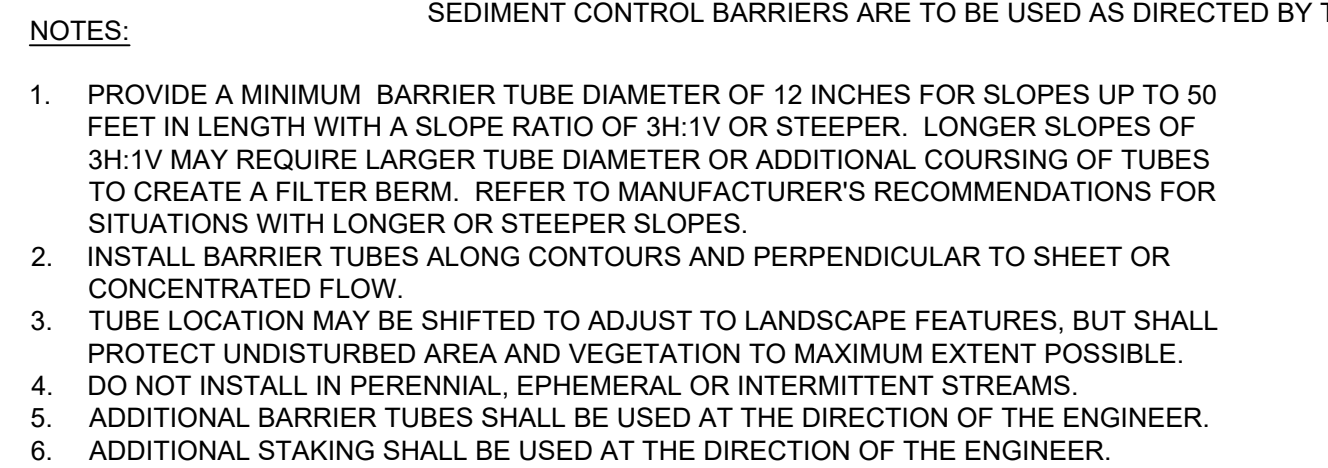


ADVANCE SIGNING SCHEMATIC

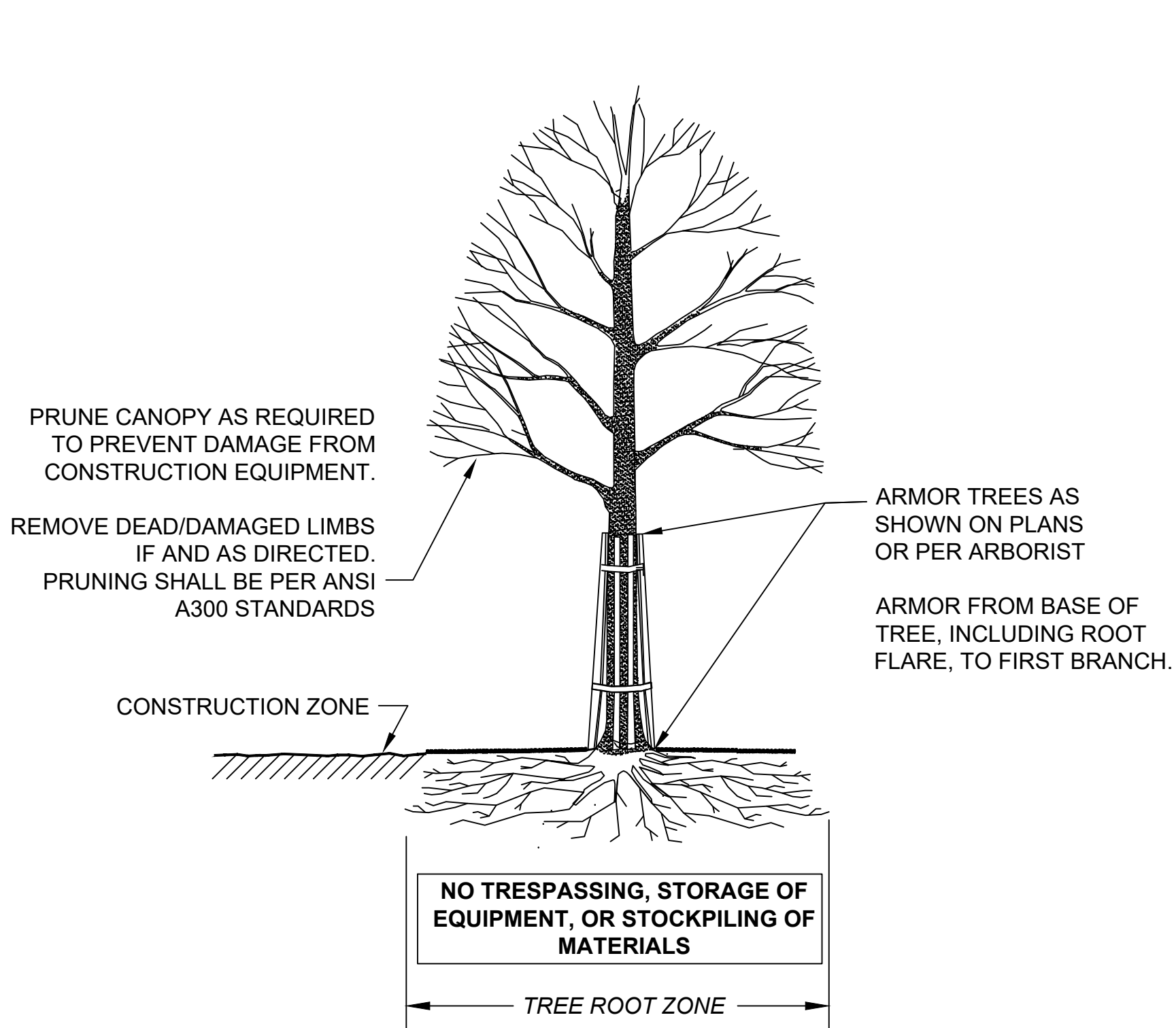
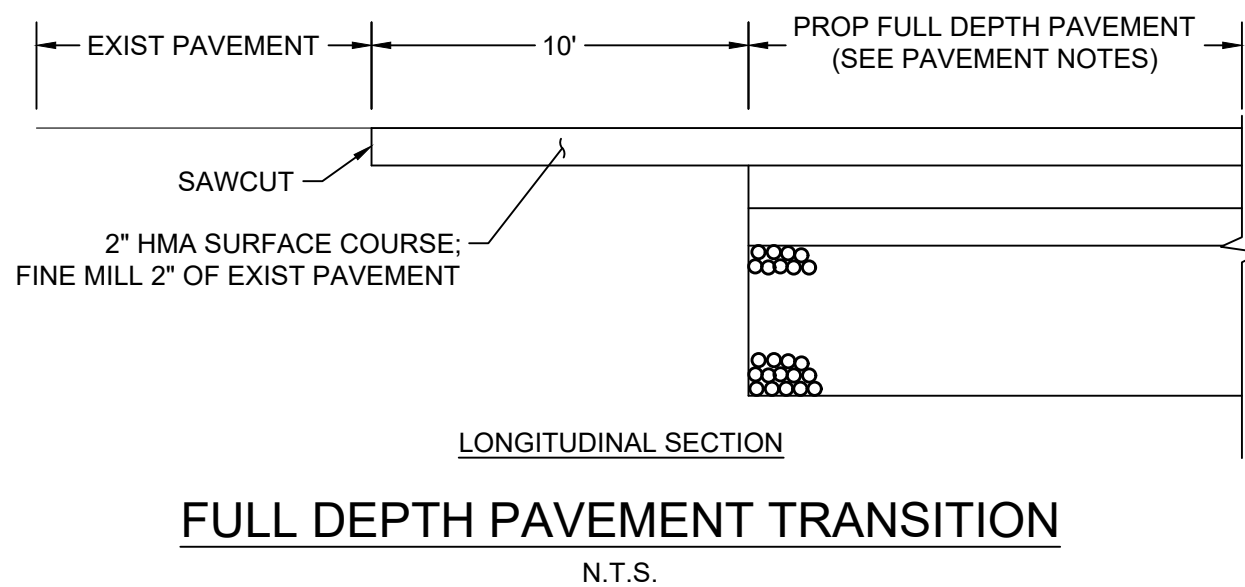
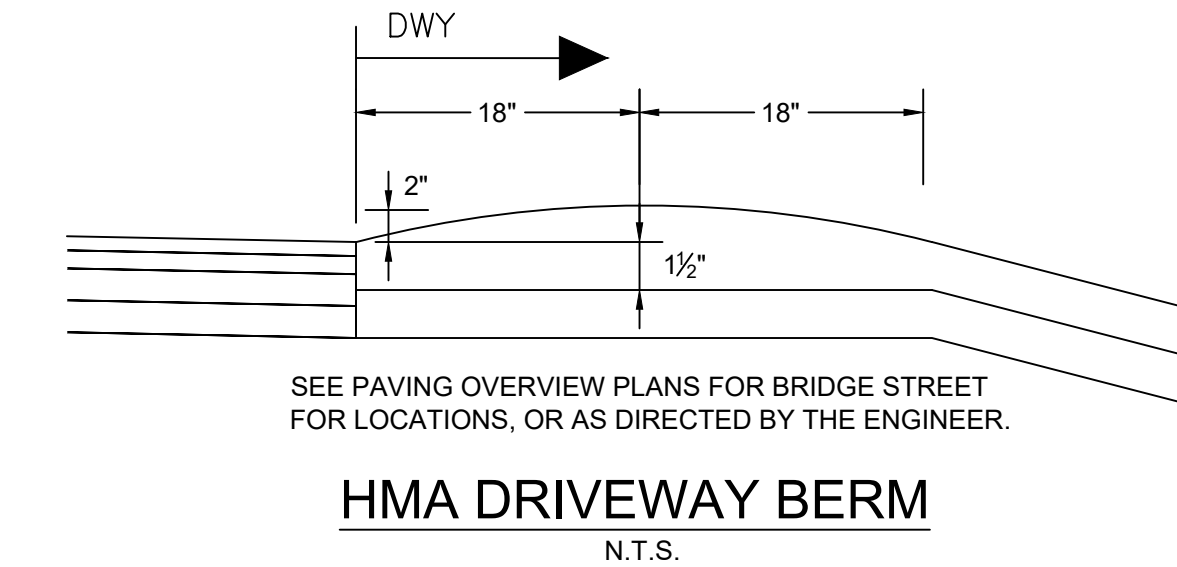
N.T.S.



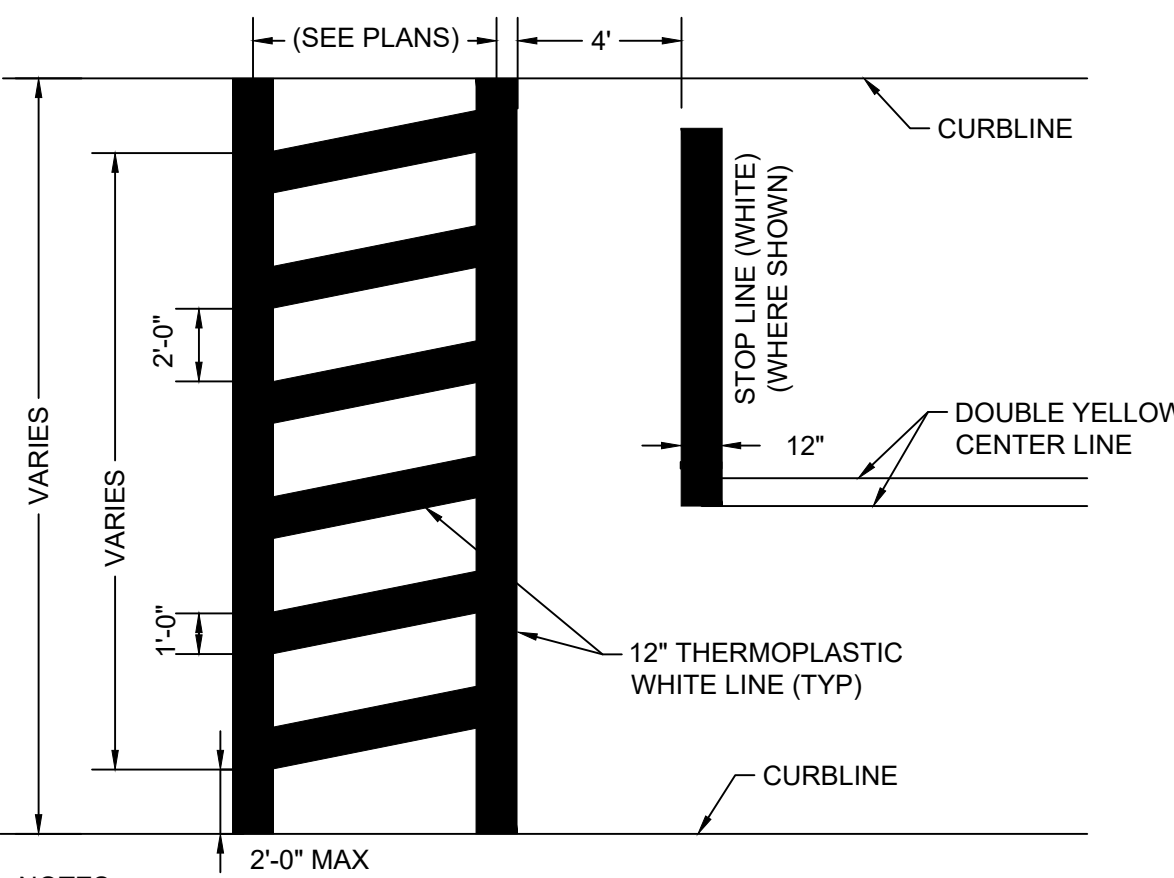
- NOTE:
1. THE DISTANCE BETWEEN "A" AND "B" SIGN SHALL BE APPROXIMATELY 250' ON BAY ROAD, BRIDGE STREET, AND ESSEX STREET. 175' ON ALL OTHER (LOCAL) ROADWAYS.
  2. "C" SIGNS SHALL BE PLACED APPROXIMATELY 100' BEYOND THE LIMIT OF WORK.





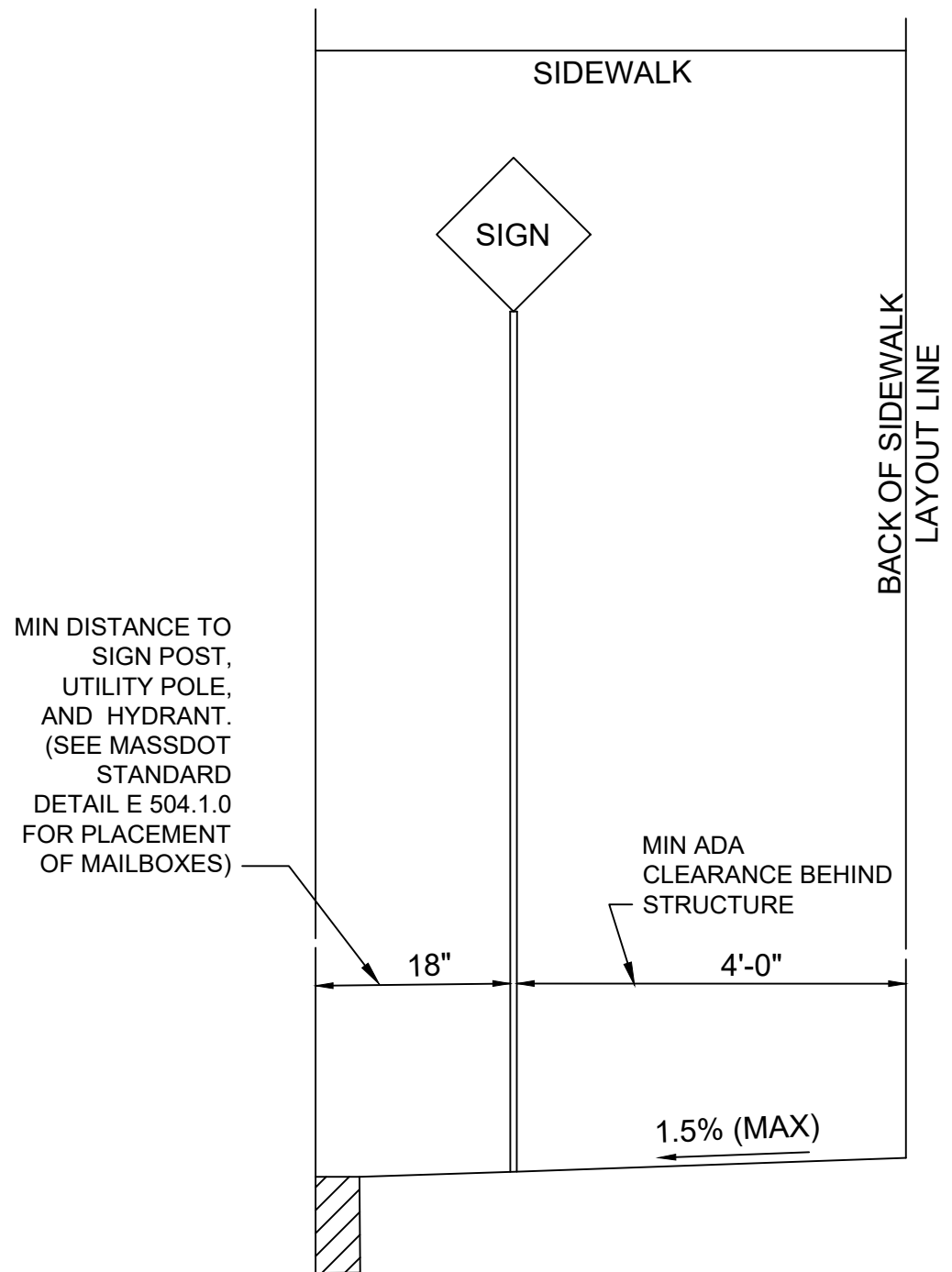


SECTION - TRUNK ARMORING & PRUNING  
**TREE PROTECTION - TRUNK**

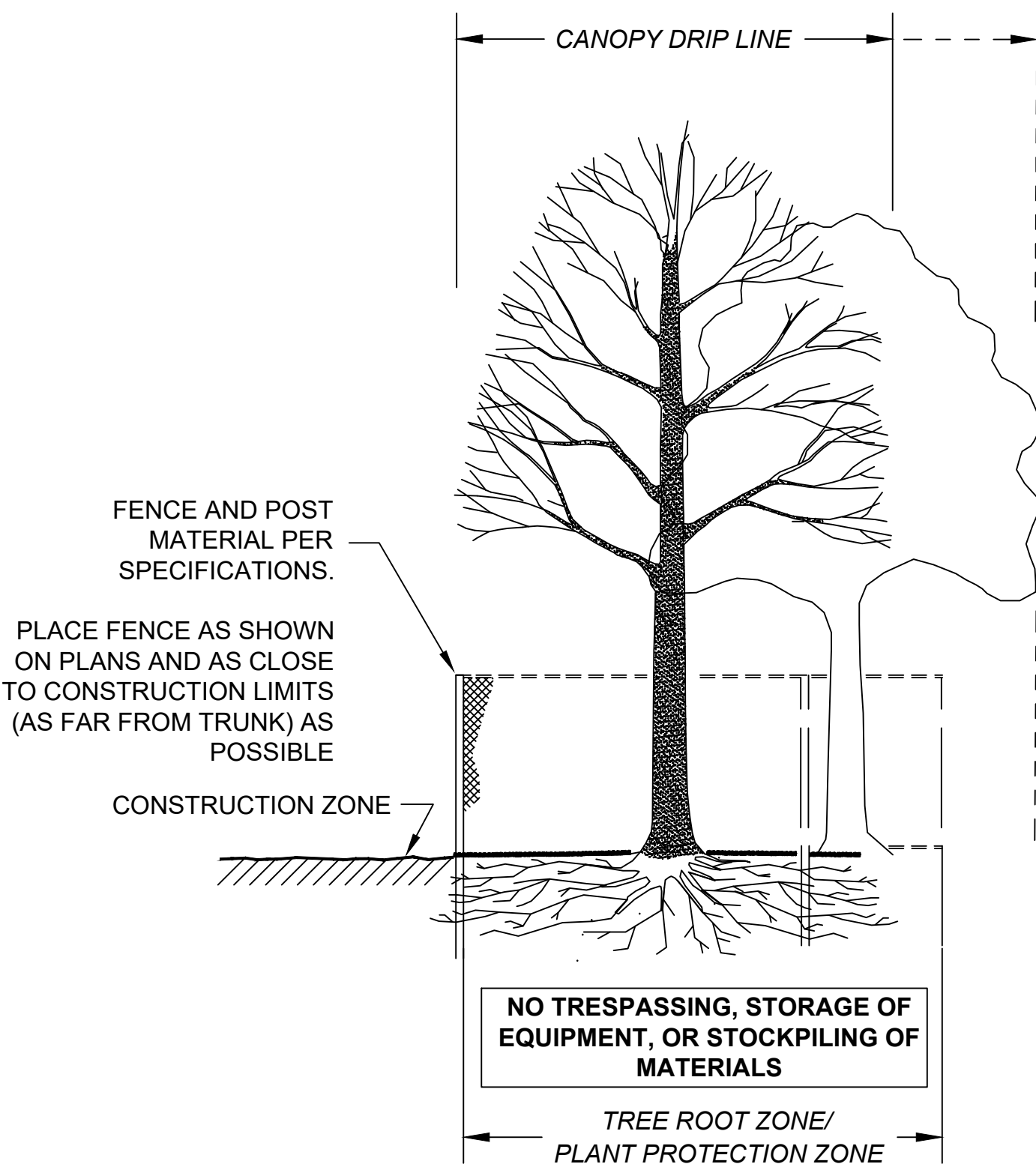


- NOTES:
- ALL 12" LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6" LINES) WILL BE ACCEPTED.
  - LAYOUT OF CROSSWALKS SHALL BE APPROVED BY THE ENGINEER PRIOR TO APPLICATION.
  - CROSSWALK BARS SHALL BE PLACED OUTSIDE THE VEHICULAR WHEEL PATH WHEREVER POSSIBLE.
  - OMIT STOP BAR WHERE NOT SHOWN ON TRAFFIC SIGN & PAVEMENT MARKING PLANS.

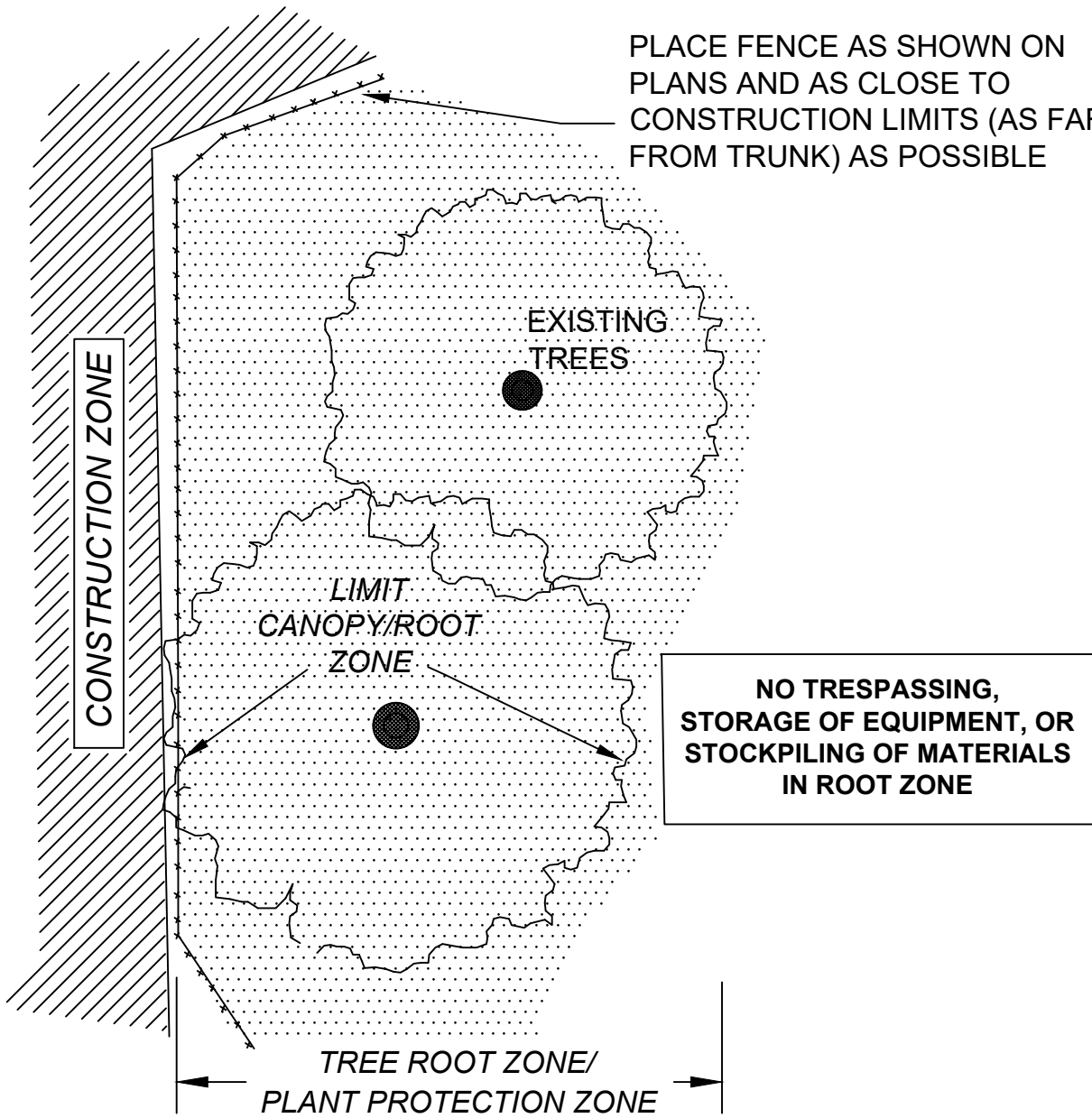
**CROSSWALK PAVEMENT MARKING (LADDER)**  
N.T.S.



**R&R VERTICAL OBSTRUCTION WITHIN SIDEWALK**  
N.T.S.

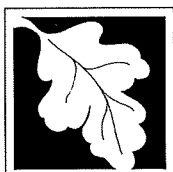


SECTION - FENCE PROTECTION OF ROOT ZONE



PLAN VIEW - FENCE PROTECTION OF ROOT ZONE

**TREE PROTECTION - ROOT ZONE**  
NOT TO SCALE



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

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Provided by MassDEP:

172-0625

MassDEP File #

eDEP Transaction #

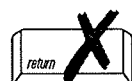
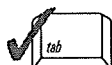
HAMILTON

City/Town

**A. General Information**

Please note:  
this form has  
been modified  
with added  
space to  
accommodate  
the Registry  
of Deeds  
Requirements

**Important:**  
When filling  
out forms on  
the  
computer,  
use only the  
tab key to  
move your  
cursor - do  
not use the  
return key.



1. From: Hamilton  
Conservation Commission

2. This issuance is for  
(check one): a. ☒ Order of Conditions b. ☐ Amended Order of Conditions

3. To: Applicant:

Timothy

a. First Name

Olson

b. Last Name

Town of Hamilton - DPW

c. Organization

P.O. Box 429; 577 Bay Road

d. Mailing Address

Hamilton

e. City/Town

MA

f. State

01982

g. Zip Code

4. Property Owner (if different from applicant):

Town of Hamilton

a. First Name

Town of Hamilton

b. Last Name

c. Organization

577 Bay Road

d. Mailing Address

Hamilton

e. City/Town

MA

f. State

01982

g. Zip Code

5. Project Location:

Bridge St. (Bay Road to Miles River Road)  
& Miles River Road (Bridge St to Essex St)

Hamilton

b. City/Town

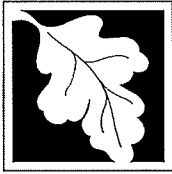
c. Assessors Map/Plat Number

d. Parcel/Lot Number

Latitude and Longitude, if known:

d m s  
d. Latitude

d m s  
e. Longitude



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**A. General Information (cont.)**

6. Property recorded at the Registry of Deeds for (attach additional information if more than one parcel):

Essex (Southern District)

NA (public roadways)

a. County

b. Certificate Number (if registered land)

c. Book

d. Page

7. Dates: 6.9.2021 7.14.2021

a. Date Notice of Intent Filed

b. Date Public Hearing Closed

c. Date of Issuance

8. Final Approved Plans and Other Documents (attach additional plan or document references as needed):

Drainage & paving Improvements / Revised NOI Submittal

a. Plan Title

TEC / The Engineering Corp

Lauren Nicholson, P.E.

b. Prepared By

c. Signed and Stamped by

7.7.2021

1"=1200'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

**B. Findings**

1. Findings pursuant to the Massachusetts Wetlands Protection Act:

Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act (the Act). Check all that apply:

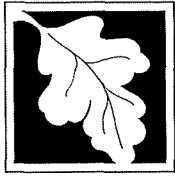
- a. ☒ Public Water Supply b. ☐ Land Containing Shellfish c. ☒ Prevention of Pollution  
d. ☒ Private Water Supply e. ☒ Fisheries f. ☒ Protection of Wildlife Habitat  
g. ☒ Groundwater Supply h. ☒ Storm Damage Prevention i. ☒ Flood Control

2. This Commission hereby finds the project, as proposed, is: (check one of the following boxes)

**Approved** subject to:

- a. ☒ the following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.





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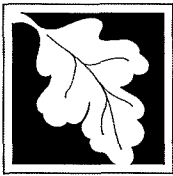
**B. Findings (cont.)**

Denied because:

- b. ☐ the proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c. ☐ the information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Act's interests, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**
3. ☒ Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310 CMR 10.02(1)(a)                      a. linear feet

**Inland Resource Area Impacts:** Check all that apply below. (For Approvals Only)

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	<u>                    </u> a. linear feet	<u>                    </u> b. linear feet	<u>                    </u> c. linear feet	<u>                    </u> d. linear feet
5. <input type="checkbox"/> Bordering Vegetated Wetland	<u>                    </u> a. square feet	<u>                    </u> b. square feet	<u>                    </u> c. square feet	<u>                    </u> d. square feet
6. <input type="checkbox"/> Land Under Waterbodies and Waterways	<u>                    </u> a. square feet <u>                    </u> e. c/y dredged	<u>                    </u> b. square feet <u>                    </u> f. c/y dredged	<u>                    </u> c. square feet	<u>                    </u> d. square feet
7. <input type="checkbox"/> Bordering Land Subject to Flooding	<u>                    </u> a. square feet	<u>                    </u> b. square feet	<u>                    </u> c. square feet	<u>                    </u> d. square feet
Cubic Feet Flood Storage	<u>                    </u> e. cubic feet	<u>                    </u> f. cubic feet	<u>                    </u> g. cubic feet	<u>                    </u> h. cubic feet
8. <input type="checkbox"/> Isolated Land Subject to Flooding	<u>                    </u> a. square feet	<u>                    </u> b. square feet		
Cubic Feet Flood Storage	<u>                    </u> c. cubic feet	<u>                    </u> d. cubic feet	<u>                    </u> e. cubic feet	<u>                    </u> f. cubic feet
9. <input checked="" type="checkbox"/> Riverfront Area	37039 <u>                    </u> a. total sq. feet	37039 <u>                    </u> b. total sq. feet		
Sq ft within 100 ft	25658 <u>                    </u> c. square feet	25658 <u>                    </u> d. square feet	<u>                    </u> e. square feet	<u>                    </u> f. square feet
Sq ft between 100-200 ft	11381 <u>                    </u> g. square feet	11381 <u>                    </u> h. square feet	<u>                    </u> i. square feet	<u>                    </u> j. square feet



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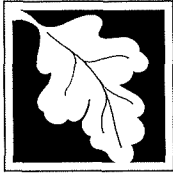
HAMILTON

City/Town

**B. Findings (cont.)**

**Coastal Resource Area Impacts:** Check all that apply below. (For Approvals Only)

	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input type="checkbox"/> Land Under the Ocean	a. square feet	b. square feet		
	c. c/y dredged	d. c/y dredged		
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	a. square feet	b. square feet	c. <sup>cu yd</sup> nourishment	d. <sup>cu yd</sup> nourishment
14. <input type="checkbox"/> Coastal Dunes	a. square feet	b. square feet	c. <sup>cu yd</sup> nourishment	d. <sup>cu yd</sup> nourishment
15. <input type="checkbox"/> Coastal Banks	a. linear feet	b. linear feet		
16. <input type="checkbox"/> Rocky Intertidal Shores	a. square feet	b. square feet		
17. <input type="checkbox"/> Salt Marshes	a. square feet	b. square feet	c. square feet	d. square feet
18. <input type="checkbox"/> Land Under Salt Ponds	a. square feet	b. square feet		
	c. c/y dredged	d. c/y dredged		
19. <input type="checkbox"/> Land Containing Shellfish	a. square feet	b. square feet	c. square feet	d. square feet
20. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above			
	a. c/y dredged	b. c/y dredged		
21. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	a. square feet	b. square feet		



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**B. Findings (cont.)**

\* #22. If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c (BVW) or B.17.c (Salt Marsh) above, please enter the additional amount here.

22. ☐ Restoration/Enhancement \*:

a. square feet of BVW

b. square feet of salt marsh

23. ☐ Stream Crossing(s):

a. number of new stream crossings

b. number of replacement stream crossings

**C. General Conditions Under Massachusetts Wetlands Protection Act**

**The following conditions are only applicable to Approved projects.**

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
  - a. The work is a maintenance dredging project as provided for in the Act; or
  - b. The time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
  - c. If the work is for a Test Project, this Order of Conditions shall be valid for no more than one year.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order. An Order of Conditions for a Test Project may be extended for one additional year only upon written application by the applicant, subject to the provisions of 310 CMR 10.05(11)(f).
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not extend the issuance date of the original Final Order of Conditions and the Order will expire on \_\_\_\_\_ unless extended in writing by the Department.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.





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**C. General Conditions Under Massachusetts Wetlands Protection Act**

8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.
10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

"Massachusetts Department of Environmental Protection" [or, "MassDEP"]  
"File Number            172-0625 "
11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before MassDEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.



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**C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)**

17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.
19. The work associated with this Order (the "Project")
  - (1) ☒ is subject to the Massachusetts Stormwater Standards
  - (2) ☐ is NOT subject to the Massachusetts Stormwater Standards

**If the work is subject to the Stormwater Standards, then the project is subject to the following conditions:**

- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Construction General Permit as required by Stormwater Condition 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that:
  - i. all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures;
  - ii. as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized;
  - iii. any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10;



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**C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)**

iv. all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition;

v. any vegetation associated with post-construction BMPs is suitably established to withstand erosion.

c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 18(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following:

i.) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and

ii.) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.

d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Multi-Sector General Permit.

e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 18(f) through 18(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 18(f) through 18(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.

f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.





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**C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)**

- g) The responsible party shall:
1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
  2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
  3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions (if you need more space for additional conditions, please attach a text document):

**See attached pages for Special Conditions.**

20. For Test Projects subject to 310 CMR 10.05(11), the applicant shall also implement the monitoring plan and the restoration plan submitted with the Notice of Intent. If the conservation commission or Department determines that the Test Project threatens the public health, safety or the environment, the applicant shall implement the removal plan submitted with the Notice of Intent or modify the project as directed by the conservation commission or the Department.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands  
**WPA Form 5 – Order of Conditions**  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
172-0625  
MassDEP File #

eDEP Transaction #  
HAMILTON  
City/Town

## D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? ☒ Yes ☐ No
2. The Hamilton hereby finds (check one that applies):  
Conservation Commission

- a. ☐ that the proposed work cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw, specifically:

1. Municipal Ordinance or Bylaw

2. Citation

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued.

- b. ☒ that the following additional conditions are necessary to comply with a municipal ordinance or bylaw:

Conservation

Chapter 17

1. Municipal Ordinance or Bylaw

2. Citation

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows (if you need more space for additional conditions, attach a text document):

The Permit pursuant to the Hamilton Conservation Bylaw is issued separately from this Order of Conditions.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 5 – Order of Conditions**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

172- 0625

MassDEP File #

eDEP Transaction #

HAMILTON

City/Town

**E. Signatures**

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

Please indicate the number of members who will sign this form.

This Order must be signed by a majority of the Conservation Commission.

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

Signatures:

*George L. Jans*  
*Laura M. Lypner*  
*Virginia M. Wokos*

*Chris J.*  
*Mary Kester*

☒ by hand delivery on  
8/18/21

Date

☐ by certified mail, return receipt requested, on

Date

**F. Appeals**

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request of Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.





Bridge St. (Bay Road to Miles River Road) & Miles River Road (Bridge St to Essex St)– Drainage & Paving Improvements – Hamilton, MA

**ATTACHMENT A**  
**SPECIAL CONDITIONS**

**Order of Conditions –**

**Bridge St. (Bay Road to Miles River Road) & Miles River Road (Bridge St to Essex St)–  
Drainage & Paving Improvements, Hamilton  
for Timothy Olson, Director of Public Works, Town of Hamilton  
DEP File # 172-0625**

Under the Order of Conditions (“the Order”) issued under MassDEP File Number **172-0625**, the Hamilton Conservation Commission (“the Commission”) hereby finds that in addition to the General Conditions Under the Massachusetts Wetlands Protection Act on the MA DEP’s WPA Form 5, the following Special Conditions are necessary in accordance with the Performance Standards set forth in the regulations to protect the interests checked above for this project. Any violation of these Conditions will make the Applicant subject to an Enforcement Order.

This Order of Conditions addresses proposed paving and drainage maintenance/improvement activities. This project was discussed at the 6.23.2021 & 7.12.2021 Meetings of the Hamilton Conservation Commission. Major points of discussion included the amount of space available with which to create stormwater swales to address Total Suspended Sediments (TSS) and the location of the project within a wellhead protection area. While there was not enough space to install the recommended BMP’s, the proposed features do improve the quality of stormwater runoff from currently existing conditions.

Unless extended this Order of Conditions (OOC) DEP # 172-0625 will expire on July 14<sup>th</sup>, 2024 under the WPA, and July 14<sup>th</sup>, 2022 under Hamilton’s Wetlands Bylaw.

The Commission orders that all work shall be performed in accordance with said conditions and with the referenced Notice of Intent and all other relevant documents listed below in Condition 22. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the Conditions shall prevail.

Bridge St. (Bay Road to Miles River Road) & Miles River Road (Bridge St to Essex St)– Drainage & Paving Improvements – Hamilton, MA

**GENERAL CONDITIONS (CONTINUED)**

Please review the preceding General Conditions on the DEP WPA Form 5, particularly Condition 1.

21. All work must be in compliance with the Hamilton Wetland Protection Bylaw, Regulations, and Policies.

22. The work shall conform to the following plans and documents, unless otherwise specified in this Order:

a. WPA Form 3/Notice of Intent: Submitted for: Timothy Olson  
Town of Hamilton Director of Public Works  
577 Bay Road, Hamilton, MA

Notice of Intent Prepared by: TEC / The Engineering Corp.  
146 Dascomb Road  
Andover, MA 01810  
Dated: June 9<sup>th</sup>, 2021, Revised July 7<sup>th</sup>, 2021

b. Site Plan: Entitled: Drainage Improvement Project  
Bridge Street, Miles River Road, Essex Street, and Forest Street

Prepared by: TEC / The Engineering Corp.  
Lauren Nicholson, P.E.  
146 Dascomb Road  
Andover, MA 01810  
Dated: June 9<sup>th</sup>, 2021, Revised July 7<sup>th</sup>, 2021

23. **The approved wetland boundaries pertaining to this Order are only valid for this particular project, and not for any future projects.**

24. The Commission reserves the right to require additional conditions if deemed necessary to protect the resource areas and interests as defined in MGL Chapter 131 Section 40 (310 CMR 10.00) with proper notification of all parties.

25. **This Order of Conditions (hereafter OOC), shall apply to any successor(s) in interest or successor(s) in control and shall survive the issuance of the Certificate of Compliance, specifically for the project permitted as DEP # 172-XXXX the Conditions listed in Condition# 33 & A, B, C, X, Y, Z are considered perpetual conditions.** Within ten (10) calendar days inclusive of the transfer of ownership of the subject parcel, in whole or in part, including lots or buildings conveyed under individual deeds, the Conservation Commission shall be notified in writing by the seller of the name and address of the new owner.

Bridge St. (Bay Road to Miles River Road) & Miles River Road (Bridge St to Essex St)– Drainage & Paving Improvements – Hamilton, MA

26. Any violation of these conditions will make the Applicant subject to an Enforcement Order.
27. Members and agents of the Hamilton Conservation Commission (hereafter HCC), shall have the right to enter and inspect the premises to evaluate compliance with these conditions and to require submittal of any data deemed necessary by the Commission for that evaluation.
28. **The Applicant, contractor, or site engineer responsible for the project's completion shall have on site at all times a copy of this Order of Conditions**, including all referenced documents, while activities regulated by this Order are being performed.
29. No equipment is to enter or cross wetland resource areas at any time unless the location of the disturbance is marked on the plans referenced in this Order and is within the limit of work shown on the plan.
30. Any change in the plans approved under this OOC, including those due for review by other boards or resulting from the aforementioned conditions, must be submitted to the Commission in writing for approval prior to implementation. The Commission will then decide whether the change is substantial enough to require a new Notice of Intent filing or a request for an amendment to this OCC. Any errors found in the plans or information submitted by the Applicant shall be considered as changes.
31. If any unforeseen problem occurs during the Project which affects any of the seven statutory interests of the Massachusetts Wetlands Protection Act and/or the Hamilton Wetland Protection Bylaw and Regulations, the Applicant shall notify the Conservation Commission and an immediate meeting shall be held between the Commission or its Agent, the Applicant, the Applicant's representative and/or engineer/contractor, and other concerned parties to determine the corrective measures agreed upon. In the event of a dispute amongst the participants of any meeting, the Commission's view shall prevail.
32. Upon completion of this project the owner or his designee shall submit the following to the Conservation Commission to receive a Certificate of Compliance per Condition 12:
  - a. A **written request** from the Applicant/Property Owner or his designee for a Certificate of Compliance (WPA Form 8A) for DEP File # **172-0625**.
  - b. A written statement from a registered professional engineer of the Commonwealth of Massachusetts certifying that the work has been completed in compliance with this Order of Conditions and the approved plans referenced herein (or approved revisions). Any discrepancies shall be noted. If the work completed differs significantly from the work proposed in the Notice of Intent and approved by the Commission, the Commission may require the Applicant implement measures necessary to comply with this Order. This statement shall individually address the installation, status, and functioning of each of the various stormwater control features permitted through DEP # **172-0625**.
33. The following special conditions shall extend beyond the issuance of a Certificate of Compliance, in perpetuity, and shall be referred to in all future deeds to this property:
  56. Regarding prohibition of sodium chloride for deicing.



Bridge St. (Bay Road to Miles River Road) & Miles River Road (Bridge St to Essex St)– Drainage & Paving Improvements – Hamilton, MA

34. Failure of the Applicant to comply with one or more individual conditions set forth in this OOC **does not exonerate the Property Owner, successor in control, or successor in interest** of the property described in the Notice of Intent in meeting or complying with the remaining conditions in this OOC.

### **PRIOR TO CONSTRUCTION**

Please note General Conditions 8, 9, and 10.

35. Prior to the commencement of any work on the site, the Applicant shall submit in writing via email to the Commission the names, addresses, and telephone numbers (both business and 24-hour emergency numbers) of the person(s) responsible on-site for compliance with this Order and his/her alternate. The Applicant shall also notify the Commission in writing of any changes to this information.
36. The Applicant or designee shall report in writing via email to the Hamilton Conservation Commission prior to the commencement of construction, every 30 days during construction, and for as long thereafter as the ground remains unstable, as well as upon completion of the project until such time as the CoC is issued for the project. These reports shall include an update on the status of the erosion controls, what work within 100 feet of wetlands or within 200 feet of perennial streams has been completed to date, and what work is proposed for the next month.
37. Prior to commencement of any work on site, the wetland boundaries shall be clearly marked and/or repaired with flags/stakes so that said areas are clearly distinguishable, and shall be confirmed by the Commission or its agent. **The Applicant shall maintain wetland flagging until the Certificate of Compliance is issued.**
38. Prior to the commencement of any work on site, all erosion and sedimentation control measures shall be installed for inspection and approval by the Commission or its agent. **The Commission must be notified at least 7 days prior to the commencement of work for such inspection.**
39. A Pre-construction meeting shall be held, between the Applicant and their designated Project Superintendent and Site Contractor with the HCC or its agent to review the proposed work and measures designed to mitigate any impact on the wetlands, and to ensure that all conditions of the OOC are understood.
40. **Any fill brought on site must be clean, debris-free, and devoid of invasive plants or their parts or seeds.**
41. **All construction vehicles must be cleaned of accumulated soil or plant matter from other sites prior to entering the site, through washing, brooming, or another method approved in advance by the HCC.**
42. It is the Applicant's responsibility to **ensure that the work to be performed hereunder will be properly supervised** by the design engineer / wetlands biologist, or by persons of equivalent qualifications. Upon written request by the HCC/staff, within fourteen (14) days of the receipt of the request, the Applicant shall submit a report from the design engineer or wetlands biologist, or other qualified person, describing the project's compliance with this OCC, and addressing any other concerns identified in the request relative to compliance to

Bridge St. (Bay Road to Miles River Road) & Miles River Road (Bridge St to Essex St)– Drainage & Paving Improvements – Hamilton, MA

the Wetlands Protection Bylaw and the Wetlands Protection Act

43. In order to prevent the spread of invasive species from one portion of the project site to another, construction vehicles may not enter locations infested with invasive species. If this is unavoidable, vehicles shall be washed or broomed clean prior to leaving the infested portion of the site.
44. Every attempt to **prevent invasive plant species** from entering the site shall be taken. **Machinery** that has been working where purple loosestrife, Japanese knotweed, or common reed (Phragmites) occur **shall be cleaned of plant parts and soil before entering the construction site**. Any new purple loosestrife and common reed **shall be removed by hand immediately**. If the infestation cannot be controlled by hand removal, the HCC/staff shall request the contractor and Property Owner to submit an action plan to the HCC for approval.
45. **No additional clearing or grading** in the 100' Buffer Zone to wetlands, other than what is shown on the approved plans, may be done without written approval of the HCC/staff.
46. Natural areas within the designated work area, that are not part of the explicit scope of work, are not to be used for parking of any vehicles, storing of any materials, or are otherwise allowed to be impaired by approved activities. Placing of temporary fences, approved by the HCC or its agent, around such areas to prevent accidental impairment is encouraged.
47. The Applicant/Responsible Party **shall ensure a hazardous materials spill containment kit is maintained on site at all times** throughout construction. The kit **shall be appropriately sized** for the cumulative volumetric capacity of hazardous fluids contained by on-site equipment. Pumps, generators, or other stationary equipment containing fuel, oil, hydraulic fluid, or other potential contaminants shall be operated in a containment area on an impervious barrier. The barrier shall be of light color to allow observation of any liquid spillage. If spillage is observed, the equipment shall be taken out of service immediately and repaired or replaced.
48. At the commencement of work, and again prior to the completion of work covered by this permit, the Applicant **shall collect and remove by hand all trash and loose man-made debris** from the site's resource areas and buffer zones.
49. **No clearing of vegetation, including trees, or disturbance of soil shall occur prior to the Pre- Activity Meeting**. Minimal disturbance of shrubs and herbaceous plants may be allowed prior to the Pre-Activity Meeting if absolutely necessary in order to place erosion control marker-stakes and to establish stakes designating the "limit of work" where required.
50. To insure the accuracy of the tree cutting, the HCC/staff **recommends implementing a two color system for marking the limit of work line**. The trees on the edge of the limit of work line to be cut should be marked with orange marking paint on the stump and then at breast height. The trees on the other side of the limit of work line NOT to be cut should have yellow caution tape tied around the trunk to provide a visual distinction to inform the tree clearing firm to reduce the possibility of excessive clearing.

Bridge St. (Bay Road to Miles River Road) & Miles River Road (Bridge St to Essex St)– Drainage & Paving Improvements – Hamilton, MA

**SEDIMENT AND EROSION CONTROLS**

Please note General Condition 18.

51. Soil erosion and deposition into wetland resource areas shall be prevented at all time by effective control methods. The Applicant shall implement the methods indicated in the referenced Notice of Intent and as specified below:

- a. The *minimum* required erosion control barriers shall consist of a staked compost sock (10” minimum), as inspected and approved by the Commission or its agent before work commences. To minimize wildlife entanglement and plastic debris pollution, choose temporary erosion and sediment control products that either do not contain netting, or that contain netting manufactured from 100% biodegradable non-plastic materials such as jute or sisal fiber. Degradable, photodegradable, UV-degradable, oxo-degradable, or oxo-biodegradable plastic netting (including polypropylene, nylon, polyethylene, and polyester) are not acceptable alternatives. Natural materials sourced from outside the U.S. are also unacceptable, due to the risk of importing exotic invasive pests. Netting used in these products should have a loose-weave wildlife-safe design with movable joints between the horizontal and vertical twines, allowing the twines to move independently and thus reducing the potential for wildlife entanglement. Avoid the use of silt fences reinforced with metal or plastic mesh. When no longer required, temporary erosion and sediment control products should be promptly removed.
- b. The use of haybales is strictly prohibited for erosion control, unless specifically allowed by the Commission (as shown on the project site plans approved by the HCC as referenced herein)
- c. Erosion control measures shall be installed and maintained in accordance with U.S. Natural Resources Conservation Service recommended methods.
- d. The limit of work shall be the erosion control barriers beyond which no work shall occur. Erosion control barriers shall not be placed within 50 feet of the wetland boundary, (or as shown on the project site plans approved by the HCC as referenced herein) without written permission of the Commission.
- e. The Commission may require the Applicant to employ additional erosion and/or damage prevention measures as it deems necessary.
- f. Erosion controls shall be inspected weekly and immediately following storm events. Damaged or non-functioning erosion control devices shall be maintained, reinforced, or replaced as necessary.
- g. Any failure of erosion control measures resulting in deposition of soils into the wetland resource area(s) shall be **immediately** reported to the Conservation Commission office at (978) 626-5247 extension 70247.
- h. The Applicant shall take immediate steps to control any erosion that occurs on site that impacts areas under jurisdiction of the Wetlands Protection Act and the Hamilton Wetlands Bylaw and Regulations.

## Bridge St. (Bay Road to Miles River Road) &amp; Miles River Road (Bridge St to Essex St)– Drainage &amp; Paving Improvements – Hamilton, MA

- i. Any sedimentation that occurs outside of the erosion control barriers shall be immediately removed using hand tools. The cause of the erosion/sedimentation shall be immediately addressed.
- j. All accumulated sediment shall be removed from the face of the erosion control barriers using hand tools (e.g. shovels, rakes, and wheelbarrows) whenever the level of sediment is within six (6) inches of the top of the barrier.
- k. The Applicant shall maintain a reserve of the approved erosion control materials equal to at least 10% of the maximum length of erosion control materials used on site during the duration of the project, with stakes, to be used for emergency repairs. These materials are not to be used for daily maintenance of erosion controls.
- l. Soil, sediment, debris, or other material removed during maintenance or repair of erosion control barriers, or remediation of erosion damage, shall be disposed of outside the wetlands or riverfront buffer zone.

Exposed soils shall be stabilized as soon as practical following disturbance. Slopes and other disturbed areas not subject to construction activities shall be stabilized (either temporarily or permanently) immediately following excavation/grading. Temporary stabilization shall consist of seeding with **annual oats** or other approved species, or installation of jute netting, staked mulches, or other Natural Resources Conservation Service accepted methods, maintaining respect to Condition 41a.

- m. Immediately following any storm event, the Applicant shall inspect all stabilized areas for erosion, wash-out, rills, or other damage. Any noted damage shall be immediately repaired using the original stabilization method or other Natural Resources Conservation Service accepted methods.
52. **Erosion control devices and wetland flags shall remain in place until all disturbed surfaces have been permanently stabilized and a Certificate of Compliance is issued by the Commission.** The erosion control devices can only be removed once the Applicant has submitted a Request for Certificate of Compliance AND the HCC and/or its agent has conducted a site visit and granted permission to do so. The biodegradable erosion controls may be broken up and spread on site, but not within any wetland resource area(s) or Conservation Easement. Any non-biodegradable material used within the erosion controls must be removed and discarded off-site. The erosion control devices must be removed prior to final issuance of the Certificate of Compliance.

**SOIL STOCKPILES AND FILL STORAGE**

53. At no time shall debris or other material be buried or disposed of within the buffer zone, other than that fill which is allowed by this Order and as shown on the referenced plans.
54. Stockpiled earth and other materials **shall be located outside of the 100 foot buffer, unless the approved plan shows otherwise** to prevent erosion into wetland resource areas and/or prevent any runoff off-site. If stockpiles sprout invasive plant species, the HCC/staff may direct that appropriate control methods be employed to combat the



Bridge St. (Bay Road to Miles River Road) & Miles River Road (Bridge St to Essex St)– Drainage & Paving Improvements – Hamilton, MA

invasive plants. In the case of Riverfront Resource areas, stockpiled earth and other materials shall be piled outside the 200-foot Outer Riparian Zone.

### **TIME LIMITS**

55. All **disturbed areas in the Buffer Zone** will be stabilized by vegetation, heavy mulching, sodding, or matting **prior to November 15 each year**. No work within the Buffer Zone or resource areas may be done between **November 15 and March 15** of each year, unless given prior approval by the HCC/staff. After prior written request, approval shall be granted when the capacity to effectively manage disturbed soils, eliminate sedimentation and off-site transport of soils, and demonstrated ability to maintain site stability are verified to the satisfaction of the HCC/staff.

### **OTHER CONDITIONS**

56. No sodium chloride shall be used within 100 feet of a wetland resource area or within 200 feet of a perennial stream if the area will drain to a resource area and regulated buffer zone without significant dilution treatment, and any contract or agreement for snow or ice removal shall so stipulate. **This condition shall survive the issuance of the Certificate of Compliance.**
57. No oil, calcium chloride, or other salt shall be used within 100 feet of a wetland resource area or within 200 feet of a perennial stream during any construction phase for the control of dust.
58. **Prior to the issuance of the Certificate of Compliance, all disturbed areas shall be stabilized to the satisfaction of the Commission.**

CONSERVATION COMMISSION  
TOWN OF HAMILTON  
COMMONWEALTH OF MASSACHUSETTS

CONSERVATION BYLAW (Ch. 17) PERMIT

TO

Applicant:	Name of Property Owner:
Timothy Olsen	N/A: Public Oradways
Address: 577 Bay Road, Hamilton MA, 01982	Address: SAME

This project is located at Bridge St. (Bay Road to Miles River Road) & Miles River Road (Bridge St to Essex St).

The Notice of Intent for this project was filed on 6.9.2021. Public Hearing Closed 7.14.2021.

Plans:

Title: Drainage & paving Improvements / Revised NOI Submittal	Dated: 7.7.2021	Signed and Stamped by: Lauren Nicholson, P.E.
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**Findings**

The commission finds that the area in which work is proposed is within the AURA, and within the buffer zone to Bordering Land Subject to Flooding, Bank, Bordering Vegetated Wetland; is within the Riverfront Area; and is subject to protection under the Hamilton Conservation Bylaw Chapter 17 and Regulations which are significant to the protection of interests identified in the Bylaw, specifically:

Resource Area	Significant to the protection of:
BLSF, BVW, RA, B	Public & Private Water Supply, Fisheries, Protection of Wildlife Habitat,
	Flood Control, Storm Damage Prevention, Prevention of Pollution, Groundwater Supply

Primary Standard for the project: The primary standard to be applied in this project is that the applicant's structures and activities in Areas Subject to Protection under the Bylaw or adjacent Buffer Zone shall not alter an area subject to protection under the Bylaw in such a way as to adversely affect the protection provided by that area to the public interests identified in the Bylaw.

The Commission finds the design and mitigating measures proposed by the applicant in the Notice of Intent and adjunct documents and plans referenced on page one above, with the Standard and Additional Conditions attached to this Permit, will serve as a sufficient basis to commence the project with satisfactory protection to the interests of the Bylaw. The applicant's responsibility is not limited to following these procedures, however, but

## CONSERVATION BYLAW (CH. 17) PERMIT (contd.)

additionally to assure that the Primary Standard is met. Therefore additional or alternative measures may be called for if the Commission finds there is field evidence of any failure to meet that standard.

In such a case, applicants shall within a time deemed reasonable by the Commission propose alternative or additional measures to meet the standard, for the approval of the Commission. Applicant or representatives shall be responsible for notifying Commission within 48 hours if they become aware of any evidence of adverse effect on the interests of the Bylaw.

Further findings are contained on attached

### **Conditions:**

The conditions for this permit may be found on WPA Form 5 "Order of Conditions" and attached to the WPA Form 5 issued for this work under DEP File# 172-0625. This permit shall be recorded with the WPA Form 5 "Order of Conditions" at the Southern Essex Registry of Deeds.

**REMAINDER OF THIS PAGE INTENTIONALLY BLANK**

CONSERVATION BYLAW (CH. 17) PERMIT (contd.)

This Permit is issued by the Town under its Bylaw and its effect is independent of any Wetlands Protection Act Order of Conditions, so that it is unaffected by any appeal of an Order of Conditions to the Department of Environmental Protection, or by any superseding order from the Department.

Issued by Hamilton Conservation Commission

Signature(s):

George T. Larr

Virginia M. Lockman

Lauren M. Lynch

Crump

Mag. Feste

DEP FILE # 172-0625

This permit EXPIRES one year from the date of issuance July 14th, 2021.

Either all work pursuant to this permit is completed by the expiration date, or the Applicant must obtain an extension from the Commission.

Applications for extensions must be filed no later than 30 days prior to the expiration date.

This Permit must be signed by a majority of the Conservation Commission.

ACKNOWLEDGEMENT

On this <sup>18th</sup> day of August 2021, before me, the undersigned notary public, personally appeared Lauren M. Lynch proved to me through satisfactory evidence of identification, which were the undersigned notary public's personal knowledge of the identities of the principals, to be the person whose names are signed on the preceding document, and acknowledged to me that they signed it voluntarily for its stated purpose.

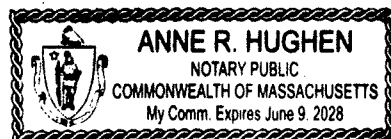
All signed as duly appointed Members of the Town of Hamilton Conservation Commission.

Notary Public

Anne R. Hughen

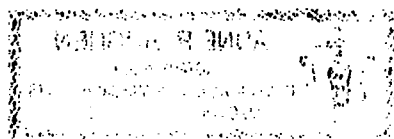
My Commission Expires

June 9, 2028





115-0092







Massachusetts Department of Environmental Protection  
Bureau of Water Resources - Wetlands

**WPA Form 1 - Request for Determination of  
Applicability**

Municipality

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**A. General Information**

Important:  
When filling out  
forms on the  
computer, use  
only the tab key  
to move your  
cursor - do not  
use the return  
key.



1. Applicant: *Hamilton Rod and Gun Club*

First Name *Patrick*

Last Name *Cullen*

Address *500 Chebacco Rd.*

City/Town *Hamilton*

State *MA* Zip Code *01982*

Phone Number *(978) 473-3040*

Email Address *pres@hwrgclub.org*

2. Property Owner (if different from Applicant):

First Name *Town of Hamilton*

Last Name

Address *577 Bay Rd.*

City/Town *Hamilton*

State *MA* Zip Code *01936*

Phone Number *(978) 468-5570*

Email Address (if known)

3. Representative (if any)

First Name *Paul*

Last Name *Moginot II*

Company Name *MLM Landscape*

Address *P.O. Box 14*

City/Town *Essex*

State *MA* Zip Code *01929*

Phone Number *(508) 284-4310*

Email Address (if known) *mlmlandscape.ma@gmail.com*

**B. Project Description**

1. a. Project Location (use maps and plans to identify the location of the area  
subject to this request):

Street Address *500 Chebacco Rd.*

City/Town *Hamilton, MA. 01936*

Latitude (Decimal Degrees Format with 5 digits after decimal  
e.g. XX.XXXXX)

*42.559291*

Assessors' Map Number

Longitude (Decimal Degrees Format with 5 digits after  
decimal e.g. -XX.XXXXX)

*-70.802167*

Assessors' Lot/Parcel Number

How to find  
Latitude and  
Longitude

and how to  
convert to  
decimal  
degrees

b. Area Description (use additional paper, if necessary):

*See Attached map*

c. Plan and/or Map Reference(s): (use additional paper if necessary)

Title

Date

Title

Date

**B. Project Description (cont.)**

2. a. Activity/Work Description (use additional paper and/or provide plan(s) of Activity, if necessary):

*Please see Attached description*

- b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

Single family house on a lot recorded on or before 8/1/96

Single family house on a lot recorded after 8/1/96

Expansion of an existing structure on a lot recorded after 8/1/96

Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96

New agriculture or aquaculture project

Public project where funds were appropriated prior to 8/7/96

Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision

Residential subdivision; institutional, industrial, or commercial project

Municipal project

District, county, state, or federal government project

Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

- b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



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### C. Determinations

1. I request the Conservation Commission make the following determination(s).  
Check any that apply:
- a. whether the **area** depicted on plan(s) and/or map(s) referenced above is an area subject to jurisdiction of the Wetlands Protection Act.
  - b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced above are accurately delineated.
  - c. whether the **Activities** depicted on plan(s) referenced above is subject to the Wetlands Protection Act and its regulations.
  - d. whether the area and/or Activities depicted on plan(s) referenced above is subject to the jurisdiction of any **municipal wetlands' ordinance** or **bylaw** of:

Name of Municipality

- e. whether the following **scope of alternatives** is adequate for Activities in the Riverfront Area as depicted on referenced plan(s).
-

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**D. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

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I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

**Signatures:**

I also understand that notification of this Request will be placed in a local newspaper at my expense  
in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

Signature of Applicant

Date

Signature of Representative (if any)

Date



42.599291, -70.802167



Pond St

Stream

1

3

2

4

5

Hamilton Wenham  
Rod and Gun Club



Google



42.599291, -70.802167

No reviews

## B. Project Description (cont.)

The following mentioned work is looking to be completed over the next 3 years. Please refer to attached map labeled "1" and photos provided for reference.

The areas of concern are near a stream marked in blue. Areas in red between numbers 2 and 3 as well as area labeled "4" along pond to be thinned out for access to pond edge for fishing purposes. There are existing dead limbs, growth, and invasive growth inhibiting access to waters edge for a safe experience for club members, guests, and children. There are also dead and hazardous trees and growth throughout club grounds that needs to be taken care of. A small skidsteer pushing a chipper, and mini excavator with brush cutter attachment will be used to chip brush and small trees no bigger than 6"; leaving and spreading the woodchips as thinning progresses. This machinery is considered on the smaller side, larger machinery will not be used. Some areas are limited to this equipment, for example the area marked "4". so work will be done manually. The small trees and growth in question will grow back overtime and be easier to manage.

Over time, there is an existing over grown path marked in yellow labeled "5" that the club would like to clear during work parties. This area has invasive thorns and other growth what wasn't there before within the path. This work would be performed manually, being no more than 5ft wide. Also, since this area is an old landfill, the club will clear and dispose of old tires and various debris as we clean/ maintain this mentioned property. We are open to your ideas and feedback on this above mentioned matter. Thank you.







**Town of Hamilton  
Conservation Commission**  
Meeting Minutes of March 12, 2025

Pursuant to the Open Meeting Law, MGL Chapter 30 A, §§ 18-25, written notice posted by the Town Clerk delivered to all Commissioners, a meeting of the Hamilton Conservation Commission was posted for March 12, 2025 at 7PM via Zoom. *This meeting was recorded.* Commissioners: Sandy Coddington, Virginia Cookson, Mike Stoltzfus, Denise Kelly, Nancy Baker.

**CALL TO ORDER** The Interim Chair convenes the meeting pending the establishment of a quorum. The following items shall be addressed in order, subject to the discretion of the Chair and the Commissioners.

*Interim Chair Cookson called the meeting to order at 7:00 PM, identified the meeting was being recorded and those present: V. Cookson, D.Kelly, M. Stoltzfus, N.Baker. Not present: S.Coddington.*

Also present: Bethany Barstow, Conservation Agent. Others present as noted in the minutes.

**PUBLIC MEETINGS & HEARINGS:**

**Request for Certificate of Compliance: MassDEP #172-0493, Town Wide in Hamilton.**

**Applicant: Carol Lloyd, Essex County Trail Association (ECTA)**

**Representative: Abigail Manzi & Michael J. DeRosa, DeRosa Environmental Consulting, Inc.**

**Project: Proposed routine maintenance plan for the Town's trail system and landowners when requested. The proposed maintenance includes: brush clearing, debris removal within the trail footprint, top-dressing, grading of existing trails, placement of new trail substrate (3/4 inch stone pack, tailings), construction of elevated boardwalks, installation of beaver deceivers, and replacement of culverts in areas, as needed.**

Evin Guvendiren of DeRosa Environmental spoke about the plan to facilitate maintenance on the ECTA maintained trails throughout the Town of Hamilton. As the work has been completed, they are requesting a Certificate of Compliance (CoC) for the management plan. However, there is a perpetual condition that the management plan shall survive the issuance of the CoC. If the ECTA has any specific maintenance projects coming up, they will follow the same process to meet with the conservation agent and confirm that the project is in line with the management plan before it takes place. C. Lloyd spoke on the process they would use relative to any work being done on the Hamilton trails. The map of trails is included in the packet. N.Baker questioned the use of tailings as a material, as they are not referenced in the erosion control plan, but are noted in the ECTA document and the Hamilton trail plan. C.Lloyd explained that tailings are small gravel stones, and if they were to be used on a trail, it would be documented in the scope of work for that project. N.Baker also noted that the projects should comply with stormwater management to the extent practicable. The CoC will note these and other perpetual conditions that will remain in place.

**Vote:** *The Commission voted unanimously to approve a Certificate of Compliance for the trail project by the Essex County Trails Association, #172-0493.*

**Notice of Intent: MassDEP #172- XXXX, 31 Bradford Road, Hamilton, MA.**

**Applicant: Richard and Karl Hayes**

**Representative: William Manuell, Wetlands & Land Management, Inc.**

**Project: Proposed installation of a repair of septic system within 100-foot buffer zone to BVW (bordering vegetated wetlands).**

W. Manuell was present and spoke on the project and noted he has not been able to get a DEP file number but expects to have it soon. He explained the wetlands he flagged are just off the back of the property. There are currently two cesspools close to the wetlands, which will be replaced with a septic system. They will have to abandon the pits, pump them out, and bring in earth to fill them, which is the reason for the filing. The work area is compact and accessible, and there will be no stockpiling of materials. The owners are preparing to sell the home and are proactively taking this step to upgrade the septic. B.Barstow suggested additional erosion controls, and W. Manuell agreed to update the plans accordingly. The new system includes a 1,500 gallon tank. Once the DEP file number has been assigned, the project can be approved and paperwork filed; this should be ready for the next meeting. V.Cookson questioned a few things in the application that need to be corrected; B.Manuell will provide a clean copy for the files.

**Vote:** *The Commission voted unanimously to continue the public hearing to the next meeting on March 26, 2025.*

**Notice of Intent: MassDEP #172- XXXX, 470 Essex Street, Hamilton, MA.**

**Applicant: Roger Leblanc**

**Representative: Joel Favazza, Seaside Legal Solutions, P.C.**

**Project: Proposed construction of a single-family home & associated amenities: driveway & septic system within the 100-foot buffer zone.**

J. Favazza was present and spoke on the project. DEP recently assigned file number #172-0655. He displayed a site plan showing the project to construct a single-family home. Nothing is being proposed in the no-disturb zone, however, they are requesting to put 360 square feet of house footprint in the no-build zone. In exchange they are proposing to use part of the no-build zone as a no-cut, or no disturb zone. It would be demarcated with granite posts, to make sure no activity takes place beyond that point. Part of the proposed leaching field is also in the no-build zone. There is a 25-foot setback from Essex St, therefore the house may not be situated any further forward in the lot.

V.Cookson proceeded to outline the history of this site, including an application to build a house in 2015. She explained many conservation commissions in Hamilton have determined building on this site would have a negative effect on the wetlands.

J.Favazza responded this is a different plan, and believed the bylaws allow for waiving certain requirements that would otherwise render the property useless. V.Cookson noted waivers are not granted easily. M.Stolzfus observed the site is unique, and agreed the regulations create an unbuildable lot and opined a strict interpretation should not be applied here as it is a unique site without other building options. N.Baker recommended a site walk, and further noted the burden of proof is on the applicant, to demonstrate the hardship. J.Favazza clarified a hardship is present, as they are not allowed to build any farther forward. The Commission agreed to a site walk on Monday, March 17 at 10AM.

- **Walter Meibaum**, Whipple Road, commented the history of the site goes back 40 years and the lot has been determined to be unbuildable by the Zoning Board of Appeals. He questions how the current applicant can claim hardship given the ZBA has declared the lot is not suitable for a house.
- **Chip Denton**, Whipple Road, said the original owner couldn't sell the lot because zoning wouldn't permit a building. He stated the project was not welcomed by the abutters citing a house does not fit on the lot; he did not believe this was a hardship case.

**Vote:** *The Commission voted unanimously to continue the public hearing on 470 Essex St to the next meeting on March 26, 2025.*

#### **INFORMATIONAL: Miles River Watershed Action Plan, Ipswich River Watershed Association (IRWA) MVP Project led by the Town of Wenham -**

Molly Courson of the IRWA was present to describe the project being led by Wenham, as part of the State Municipal Vulnerability Preparedness (MVP) Program. The Miles River watershed is a sub watershed of the Ipswich River, and is the largest tributary in the lower Ipswich River Basin. Environmental concerns regarding the river include flood risk, drought risk, loss of biodiversity, invasives, and lack of access to the river. The project includes stage 1- data collection & community engagement, stage 2 - data analysis & development of nature-based solutions, and stage 3 - final plan & collaborative framework. Additional information is available through the IRWA or the Director of Land Use in Wenham.

**ENFORCEMENT ORDERS/VIOLATIONS:** 185 Bridge Street (58-9-53) issued March 14, 2023/reissued May 23, 2024  
This enforcement order is for lot 9 of the Bridge St lots. Because M.Connors had to attend the Planning Board meeting and could not be at this meeting, the Commissioners agreed this discussion be held until M.Connors could be present.

- The next Conservation Commission meeting is currently scheduled for March 26, 2025.

**Adjournment –** *The Commissioners voted unanimously by roll call to adjourn at approximately 8:38pm.*

#### *Documents:*

- *Request for Certificate of Compliance from DeRosa Environmental re: ECTA Trails*
- *Notice of Intent Application – 31 Bradford Rd.*
- *Notice of Intent – 470 Essex St*
- *Planning for a Resilient Mile River Watershed*

*Respectfully submitted by D. Pierotti, Recording Secretary, 3.24.25.*

*The minutes were prepared from video.*